



ORLEANS MARINA - HARBORMASTER OFFICE RENOVATIONS

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HARBORMASTER OFFICE NEW ORLEANS, LA

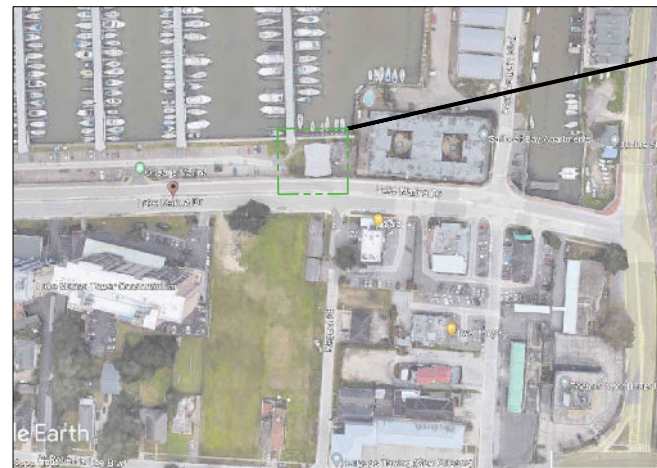
DRAWING INDEX

ARCHITECTURAL

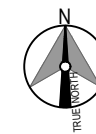
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MECHANICAL/ ELECTRICAL

- ME1.01 MECHANICAL FLOOR PLAN



PROJECT SITE



1 LOCATION MAP
 A0.00 SCALE: N.T.S.

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ORLEANS MARINA HARBORMASTER
OFFICE RENOVATION

NEW ORLEANS, LA 70124

221 LAKE MARINA AVENUE

DATE ISSUED: 28 SEPT 2023

REVISED:

REVISED:

REVISED:

REVISED:

DRAWN BY: MAR, SHN

CHECKED BY: CEV

PHASE:

22052

TITLE:

COVER SHEET

SHEET:

A0.00

PROJECT INFORMATION

APPLICABLE CODES:
 LIFE SAFETY CODE NFPA 101, 2015 EDITION
 INTERNATIONAL BUILDING CODE, 2018 EDITION

ZONING:
 ORLEANS PARISH ZONING ORDINANCE

OCCUPANCY CLASSIFICATION:
 BUSINESS (IBC)
 BUSINESS (NFPA)

CONSTRUCTION TYPE: (VARIES)

WIND UPLIFT CALCULATIONS

WIND LOAD (ASCE 7-16):
 BASIC WIND SPEED = 141 MPH
 RISK CATEGORY = II
 EXPOSURE CATEGORY = B

GENERAL NOTES:

- BEGINNING ON THE START DATE ESTABLISHED IN THE NOTICE-TO-PROCEED, THE CONTRACTOR BECOMES RESPONSIBLE FOR GETTING AND MAINTAINING ROOFS, IDENTIFIED AS REQUIRING REPAIRS OR REPLACEMENT, IN A WATERTIGHT CONDITION UNTIL COMPLETION OF PROJECT. MAINTENANCE INCLUDES MAINTAINING EXISTING TEMPORARY ROOF SYSTEMS. SOME ROOFS MAY NOT BE WATERTIGHT ON THE START DATE.
- BEFORE SUBMITTING THE BID PROPOSAL, THE BIDDER SHALL PERSONALLY EXAMINE THE SITE AND ACQUAINT HIMSELF WITH ALL ATTENDING EXISTING CONDITIONS SO THAT NO MISUNDERSTANDING MAY AFTWARDS ARISE AS TO THE CHARACTER OR EXTENT OF THE WORK TO BE DONE.
- TO ESTABLISH THE COMPLETE SCOPE OF ITS WORK AND TO AFFECT CLOSE COORDINATION WITH THE OTHER TRADES, EACH TRADE SHALL COMPLETELY REVIEW THE CONSTRUCTION DOCUMENTS, NOT ONLY FOR ITS RESPECTIVE TRADE BUT FOR THE WORK OF OTHER RELATED TRADES AS WELL.
- THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS TO SUIT JOB REQUIREMENTS AND TO AVOID CONFLICT PRIOR TO ORDERING MATERIAL OR PERFORMING WORK. REPORT DEVIATIONS FROM THE DRAWINGS TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY.
- ALL DIMENSIONS AND TIE-INS GOVERNED BY EXISTING CONDITIONS ARE APPROXIMATE AND ARE NOT GUARANTEED TO BE CORRECT. ALL SUCH DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE PREPARATION OF SHOP DRAWINGS AND BEFORE PROCEEDING WITH ANY WORK. THE FIRST SUBMITTAL OF SHOP DRAWINGS MUST CONTAIN CORRECT CONDITIONS AND DIMENSIONS OBTAINED FROM THE FIELD. IF CONDITIONS AND DIMENSIONS VARY GREATLY FROM THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PREPARATION OF SHOP DRAWINGS OR BEFORE PROCEEDING WITH WORK. WHERE DIMENSIONS ARE SHOWN, USE EXACT DIMENSIONS.
- CONTRACTOR SHALL COORDINATE AND OBTAIN ALL NECESSARY INSPECTIONS AND APPROVALS OR GUIDELINES FROM GOVERNING REGULATORY AGENCIES BEFORE PROCEEDING WITH ANY ITEMS OF WORK UNDER OR WITHIN SUCH JURISDICTION(S).
- IT IS THE INTENT OF THE CONSTRUCTION DOCUMENTS TO PROVIDE FOR COMPLETE AND FINISHED WORK. ALL MISCELLANEOUS COMPONENTS, PARTS, ANCHORS AND OTHER INCIDENTAL ITEMS REQUIRED FOR COMPLETE ASSEMBLY, FUNCTIONING AND OPERATION OF AN ITEM OR SYSTEM SHALL BE PROVIDED. THE CONTRACTOR SHALL INCLUDE ALL COMPONENTS WHICH ARE NOT SHOWN ON THE DRAWING, BUT WHICH ARE REQUIRED AS AN ESSENTIAL AESTHETIC OR FUNCTIONAL COMPONENT OF THE WORK.
- THE CONTRACTOR SHALL SUBCONTRACT WITH SUPPLIERS AND FABRICATORS AND INSTALLATION COMPANIES WHICH CAN DEMONSTRATE THAT THEY POSSESS THE KNOWLEDGE, EXPERIENCE AND PROVEN CAPABILITIES TO FULLY PERFORM ALL ASPECTS OF THE WORK REQUIRED WITHOUT OMISSION.
- UNLESS NOTED OTHERWISE ON THE DRAWINGS OR BY INDUSTRY STANDARDS, AN APPROVED MANUFACTURER'S PRODUCT IS TO BE FABRICATED AND INSTALLED IN ACCORDANCE WITH THAT MANUFACTURER'S LATEST PUBLISHED SPECIFICATIONS AND INSTALLATION REQUIREMENTS.
- THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES & SERVICES AGAINST DISRUPTION DUE TO THEIR WORK. UTILITY SERVICE IS TO BE OPERATIONAL THROUGHOUT THE ENTIRE PROJECT. NECESSARY DISRUPTIONS MUST BE APPROVED BY THE OWNER, AND OWNER'S REP., 72 HRS IN ADVANCE OF NEED, PER THE SPECIFICATIONS. ANY DAMAGE TO EXISTING UTILITIES AND SYSTEMS DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR TO PERFORM ALL CUTTING AND PATCHING AS REQUIRED IN THE COURSE OF THIS WORK. USING CRAFTSMEN WITH EXPERTISE IN THE CONSTRUCTION OF THE KNOWLEDGE, EXPERIENCE AND PROVEN CAPABILITIES TO FULLY PERFORM ALL ASPECTS OF THE WORK REQUIRED WITHOUT OMISSION.
- ALL WORK AT THE BUILDING AND SITE SHALL BE IN COMPLIANCE WITH ALL ORLEANS PARISH AND OTHER LOCAL CODES, STATE AND NATIONAL CODES, ADAAG, AND THE INTERNATIONAL BUILDING CODE, THAT APPLY.
- ALL NEW EXTERIOR ELEMENTS OF THE BUILDING AND THE ASSOCIATED ADJACENT EXTERIOR PROJECT ELEMENTS, SHALL MEET THE DESIGN WIND LOADS SPECIFIED.
- ANY CONFLICTS WITH THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- CONTRACTOR SHALL PROTECT EXISTING CONSTRUCTION TO REMAIN. IT SHALL BE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE TO MATCH EXISTING, ANY EXISTING CONSTRUCTION DAMAGED DURING THE COURSE OF THIS WORK.
- DEVIATION FROM THE CONTRACT DOCUMENTS NOT APPROVED IN WRITING BY THE ARCHITECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE ALL TEMPORARY UTILITIES REQUIRED FOR CONSTRUCTION EITHER FROM EXISTING OWNER SOURCES OR FROM HIS OWN SOURCES. MODIFICATIONS OF EXISTING OWNER SOURCES SHALL BE RETURNED TO PRECONSTRUCTION CONDITIONS PRIOR TO COMPLETION OF PROJECT.
- CONTRACTOR SHALL PROVIDE TEMPORARY TOILET FACILITIES FOR WORKERS; USE OF OWNER FACILITIES, OUTSIDE OF THE "DESIGNATED CONSTRUCTION AREAS", ARE PROHIBITED. CONTRACTOR SHALL NOT USE INTERIOR AREAS OF OTHER OWNER FACILITIES FOR ANY REASON OTHER THAN THOSE DIRECTLY RELATED TO PERFORMING THE SCHEDULED WORK. INTERIOR AREAS OF THE OTHER OWNER FACILITIES MAY NOT BE USED FOR CONTRACTOR OR SUBCONTRACTOR BREAK OR MEETING AREAS OR FOR STORAGE OF MATERIALS OR DEBRIS.
- CONTRACTOR SHALL KEEP AT THE SITE DURING ITS PROGRESS, A COMPETENT, FULL TIME SUPERINTENDENT. SUPERINTENDENT SHALL REPRESENT CONTRACTOR IN HIS ABSENCE AND ALL DIRECTIONS GIVEN TO HIM SHALL BE AS BINDING AS IF GIVEN DIRECTLY TO THE CONTRACTOR.
- CONTRACTOR SHALL MAINTAIN STRICT DUST AND TRASH CONTROL AT ALL TIMES. PROVIDE CLEANING AND REMOVAL OF ALL TRASH AND DEBRIS ON A DAILY BASIS. CONTRACTOR SHALL PROVIDE FOR HIS OWN TRASH STORAGE AND HAULING.
- ALL DELIVERIES OF LARGE MATERIALS, LARGE QUANTITIES OF MATERIALS ON SEMI-TRAILERS, ETC. ARE TO BE COORDINATED WITH THE OWNER AS TO NOT DISRUPT THE DAILY WORK ACTIVITIES OF THE SCHOOL FACILITY.
- CONTRACTOR SHALL PROVIDE TEMPORARY CONSTRUCTION FENCING AROUND THE PROJECT SITE OR THE MATERIALS STORED THEREON DURING THE ENTIRE CONSTRUCTION PERIOD. TEMPORARY FENCING (MINIMUM 6' HIGH CHAIN-LINKED FENCING) AS NOTED ON THE ARCHITECTURAL SHEETS. ANY ADDITIONAL AREA REQUIRED TO BE FENCED OFF BY THE CONTRACTOR SHALL REQUIRE APPROVAL BY THE OWNER'S REP., IN WRITING, WITH THEIR SIGNATURES. APPROVAL OF THE OWNER WILL BE OBTAINED BY THE ARCHITECT.
- CONTRACTOR TO RETURN SITE TO EXISTING CONDITION AFTER WORK IS COMPLETE, INCLUDING ADDITIONAL FILL, COMPACTION, GRASS, ETC. RESTORE EXISTING GRASSY AREAS TO THEIR PRE-CONSTRUCTION CONDITION.
- CONTRACTOR SHALL PROTECT EXISTING ROADWAYS, FENCING, AND UTILITIES WITH SIGNAGE, TEMPORARY FENCING, AND TEMPORARY SURFACING DURING THE ENTIRE CONSTRUCTION PERIOD. ANY DAMAGE TO EXISTING MATERIALS AND SYSTEMS DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR TO KEEP EXISTING DRIVES, PARKING AREAS, SIDEWALKS, AND STREETS, FREE OF SILT, DIRT, SAND, ETC., AT ALL TIMES. COORDINATE PLAN WITH THE SCHOOL FACILITY.
- UNLESS OTHERWISE LABELED AS "EXISTING", CONSIDER ALL ELEMENTS AS "NEW", WHETHER LABELED "NEW" OR NOT.
- CONTRACTOR SHALL MAINTAIN A SECURE FACILITY AT ALL TIMES. AT NO TIME SHALL THE FACILITY BE UNSECURED WHILE THE SITE IS UNMANNED, DURING THE USE OF EXTERIOR DOORS UNDER ANY CIRCUMSTANCE. CONTRACTOR SHALL SEQUENCE REMOVAL AND REPLACEMENT WORK IN ORDER TO MAINTAIN A SECURE FACILITY.
- CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR OPERATION / SHUT DOWN OF THE EXISTING SITE UTILITIES, AS REQUIRED DURING THE PERFORMANCE OF SCHEDULED WORK.
- CONTRACTOR SHALL MAINTAIN THE EXISTING LAWN / GRASSY AREAS, WITHIN THE "DESIGNATED CONSTRUCTION AREA", ON A WEEKLY BASIS. MOWING SHALL MAINTAIN GRASSY AREAS TO A MAXIMUM HEIGHT OF 6".

ABBREVIATIONS:

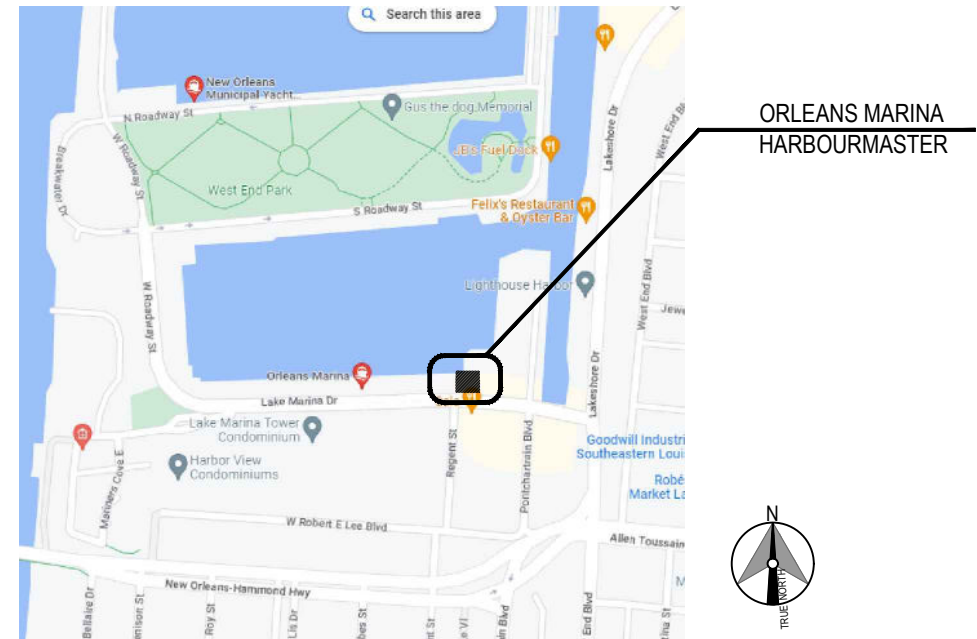
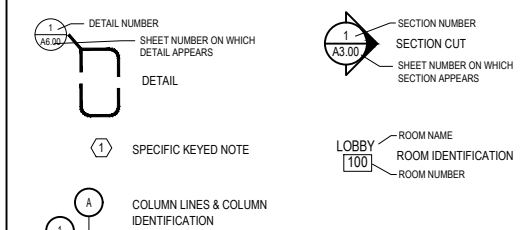
ABV	ABOVE	INT	INTERIOR
A/C	AIR CONDITIONING	JAN.	JANITOR, JANITOR'S CLOSET
ACOUS.	ACOUSTICAL	JT	JOINT
ACT	ACOUSTIC CEILING TILE	JTS	JOINTS
ADJ	ADJUSTABLE	LAM	LAMINATED(D)
AFF	ABOVE FINISH FLOOR	LAV	LAVATORY
AHU	AIR HANDLING UNIT	LBL	LABEL
AL, ALUM	ALUMINUM	MATL, MATL	MATERIAL
ALT	ALTERNATE	MAX	MAXIMUM
ANN.	ANNEALED	MECH	MECHANICAL
ARCH	ARCHITECT	MFR	MANUFACTURE(R)
ASPH	ASPHALT	MISC	MISCELLANEOUS
BD	BOARD	MIN	MINIMUM
BLDG	BUILDING	MIRR	MIRROR(ED)
BLK	BLOCK	MLD	MOLDING, MOULDING
BLKG	BLOCKING	MO	MASONRY OPENING
BLW	BELOW	MR	MOISTURE RESISTANT
BOT	BOTTOM	MTD	MOUNT(ED), (ING)
BRK	BRICK	MTL	METAL
CFCI	CONTRACTOR FURNISHED, CONTRACTOR INSTALLED	NA	NOT APPLICABLE
CH	CEILING HEIGHT	NIC	NOT IN CONTRACT
CJ	CONTROL JOINT	#, _NO.	NUMBER(S), (ED)
CLG, CLNG	CEILING	NOM	NOMINAL
CLO	CLOSET	NTS	NOT TO SCALE
CLR	CLEAR	OC	ON CENTER
CM	CEMENT	OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
CMU	CONCRETE MASONRY UNIT	OFOI	OWNER FURNISHED, OWNER INSTALLED
COL	COLUMN	OPG	OPENING(S)
COMB	COMBINATION	OPP	OPPOSITE
CONC	CONCRETE	±, +/-	PLUS OR MINUS
COND	CONDITION	PART.	PARTITION(S)
CONST	CONSTRUCTION	PEMB	PRE-ENGINEERED METAL BUILDING
CONT	CONTINUOUS	PF	PRE-FABRICATED
CONTR.	CONTRACTOR	PLAS	PLASTIC
GPT	CARPET	PLY	PLYWOOD
CSB	CEMENTITIOUS SOFFIT BOARD	PNL	PANEL(S)
CT	CERAMIC TILE	PROP.	PROPERTY
CL	CENTERLINE	PSF	POUNDS PER SQUARE FOOT
DBL	DOUBLE	PT, PRES. TRTD.	PRESSURE TREATED
DEMO	DEMOLITION	PNT	PAINT
DF	DRINKING FOUNTAIN	PTD	PAINTED
D.I.	DRAIN INLET	QT	QUARRY TILE
DIA	DIAMETER	R, RAD	RADIUS
DIM	DIMENSION	REBAR	REINFORCING BAR
DN	DOWN	REF	REFERENCE
DR	DOOR	REQD.	REQUIRED
DS	DOWNSPOUT	REFRIG	REFRIGERATOR
DTL	DETAIL	REINF	REINFORCE(D), (ING)
DWR	DRAWER	REM	REMOVE(D)
EA	EACH	RM	ROOM
EB	EDGE BAND	RO	ROUGH OPENING
EJ	EXPANSION JOINT	SB	SPLASHBLOCK
ELEC	ELECTRIC(AL)	SC	SOLID CORE
EL, ELEV	ELEVATION	SF	SQUARE FOOT
ELEV	ELEVATOR	SQ	SQUARE
EMERG	EMERGENCY	SHT	SHEET
EQ	EQUAL	SIM	SIMILAR
EQUIP	EQUIPMENT	SPEC	SPECIFICATION(S)
EXH	EXHAUST	SS	STAINLESS STEEL
EXIST	EXISTING	STD	STANDARD
*, FT	FEET	STL	STEEL
F	FACE OF	STOR	STORAGE
FD	FLOOR DRAIN	STRUCT	STRUCTURE, STRUCTURAL
FE	FIRE EXTINGUISHER	SURF	SURFACE(D)
FEC	FIRE EXTINGUISHER CABINET	SUSP	SUSPENDED
FF	FINISH FLOOR	SYS, SYST	SYSTEM(S)
FIN	FINISH(ED)	TEMP	TEMPERED
FL	FLOOR	TEMP	TEMPORARY
FLR	FLOOR	THK	THICKNESS
FOEF	FACE OF EXISTING FINISH	TOIL	TOILET(S)
FOF	FACE OF FINISH	TYP	TYPICAL
FR	FRAME	U.L.	UNDERWRITER'S LABORATORY
FRP	FIBERGLASS REINFORCED PLASTIC	UNO	UNLESS NOTED OTHERWISE
GA	GAGE, GAUGE	VCT	VINYL COMPOSITION TILE
GALV	GALVANIZED	VOJ	VERIFY ON JOB
G.C.	GENERAL CONTRACTOR	VOJA	VERIFY ON JOB WITH ARCHITECT
GEN	GENERAL	VERT	VERTICAL
G.I.	GALVANIZED IRON	WVF	VINYL WALL FABRIC
GL	GLASS	w/, /W	WITH
GWB	GYPSSUM WALL BOARD	W/O	WITHOUT
GYP	GYPSSUM	WC	WATER CLOSET(S)
GYP BD	GYPSSUM BOARD	WD	WOOD
HC	HANDICAP	WP	WATERPROOF
HD	HARDWARE	WSCT	WAINSCOT
HD GALV	HOT-DIP GALVANIZED (STEEL)	WT	WEIGHT
HDW	HARDWARE	WWF	WELDED WIRE FABRIC
HM	HOLLOW METAL		
HORIZ	HORIZONTAL		
HR	HOUR		
HT	HEIGHT		
HVAC	HEATING, VENTILATION, AIR CONDITIONING		
*, IN.	INCHES		
INCL	INCLUDE(D), (ING)		
INSUL	INSULATION, (ED)		

MATTERPORT 3D SCANS

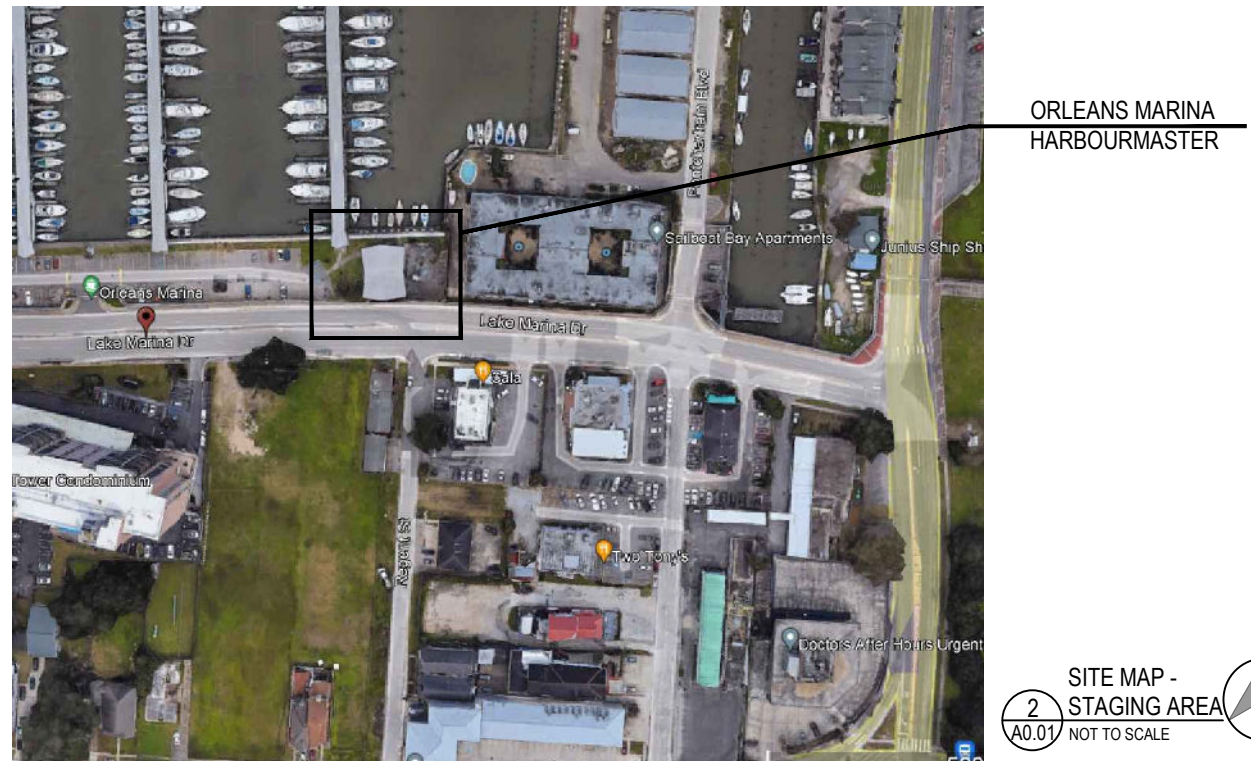
**2ND FLOOR
 HARBORMASTER - 2ND FLOOR 3D WALKTHROUGH**

NOTE: THE 3D SCANS REFERENCED ABOVE ARE INCLUDED AS A PART OF THE PROJECT REQUIREMENTS. REFERENCE THESE SCANS FOR TYPES AND LOCATIONS OF DAMAGES SHOWN ON DRAWINGS TO BE REPAIRED. USE THESE SCANS FOR QUANTITIES AND TYPES OF FURNISHINGS TO BE RELOCATED. USE THE ICONS IN THE LOWER LEFT CORNER VIEW DOLLHOUSE AND EXPLORE OF SPACES, FLOOR PLAN, AND APPROXIMATE MEASUREMENTS.

GRAPHIC SYMBOL LEGEND



**1 VICINITY MAP
 A0.01 NOT TO SCALE**



**2 SITE MAP - STAGING AREA
 A0.01 NOT TO SCALE**

THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME, OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEFS, COMPLY WITH ALL STATE AND LOCAL CODE REQUIREMENTS.

I AM ADMINISTERING THE WORK.

ARCHITECT:

LA LICENSE NUMBER:

VergesRome

Architects

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 New Orleans, Louisiana 70119
 t. 504.488.7739 f. 504.488.7743

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NEW ORLEANS, LA 70124

221 LAKE MARINA AVENUE

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 DRAWN BY: MAR
 CHECKED BY: CEV
 PHASE:

22052

TITLE:
PROJECT INFO., GENERAL NOTES, & LOCATION MAPS

SHEET:

A0.01

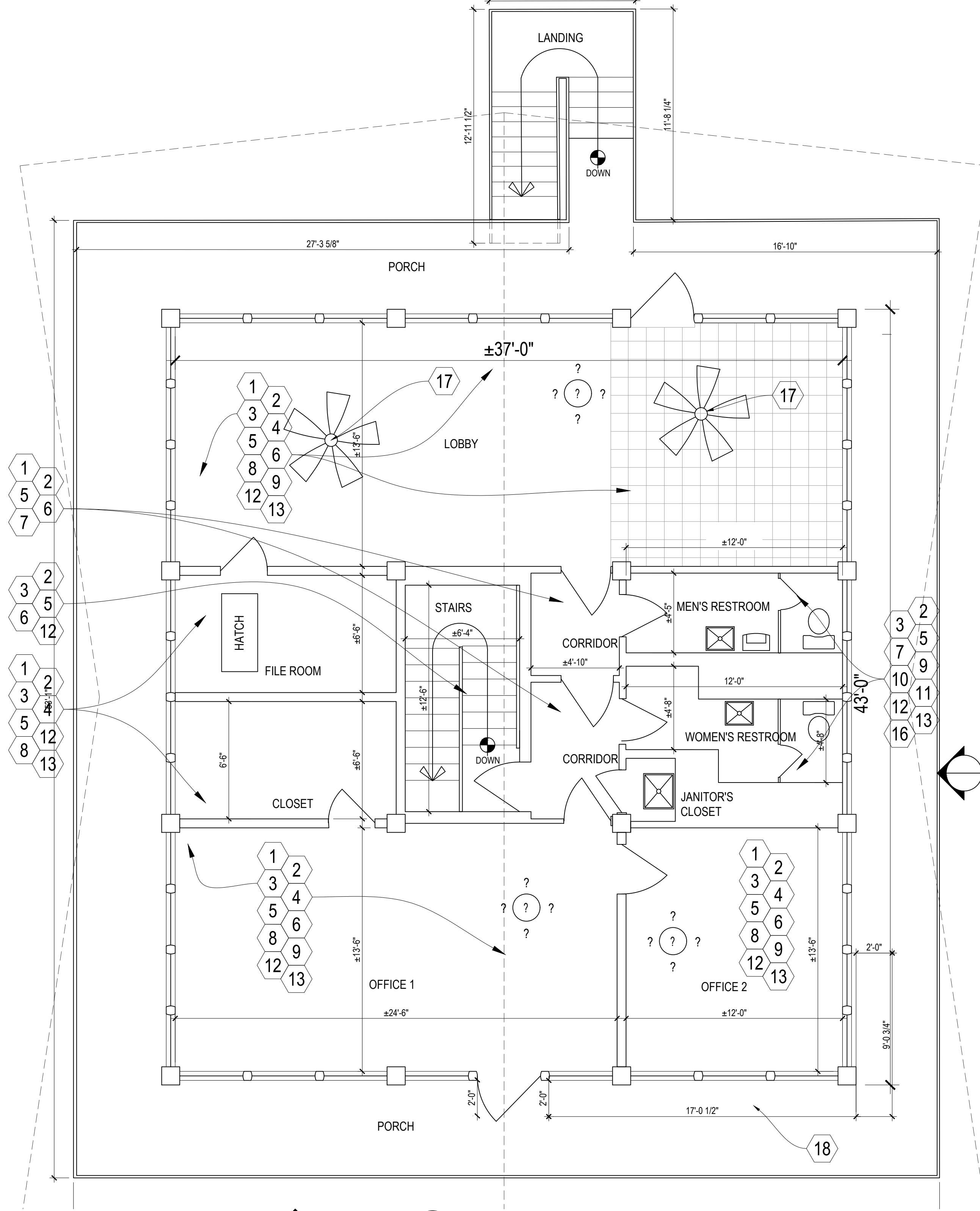
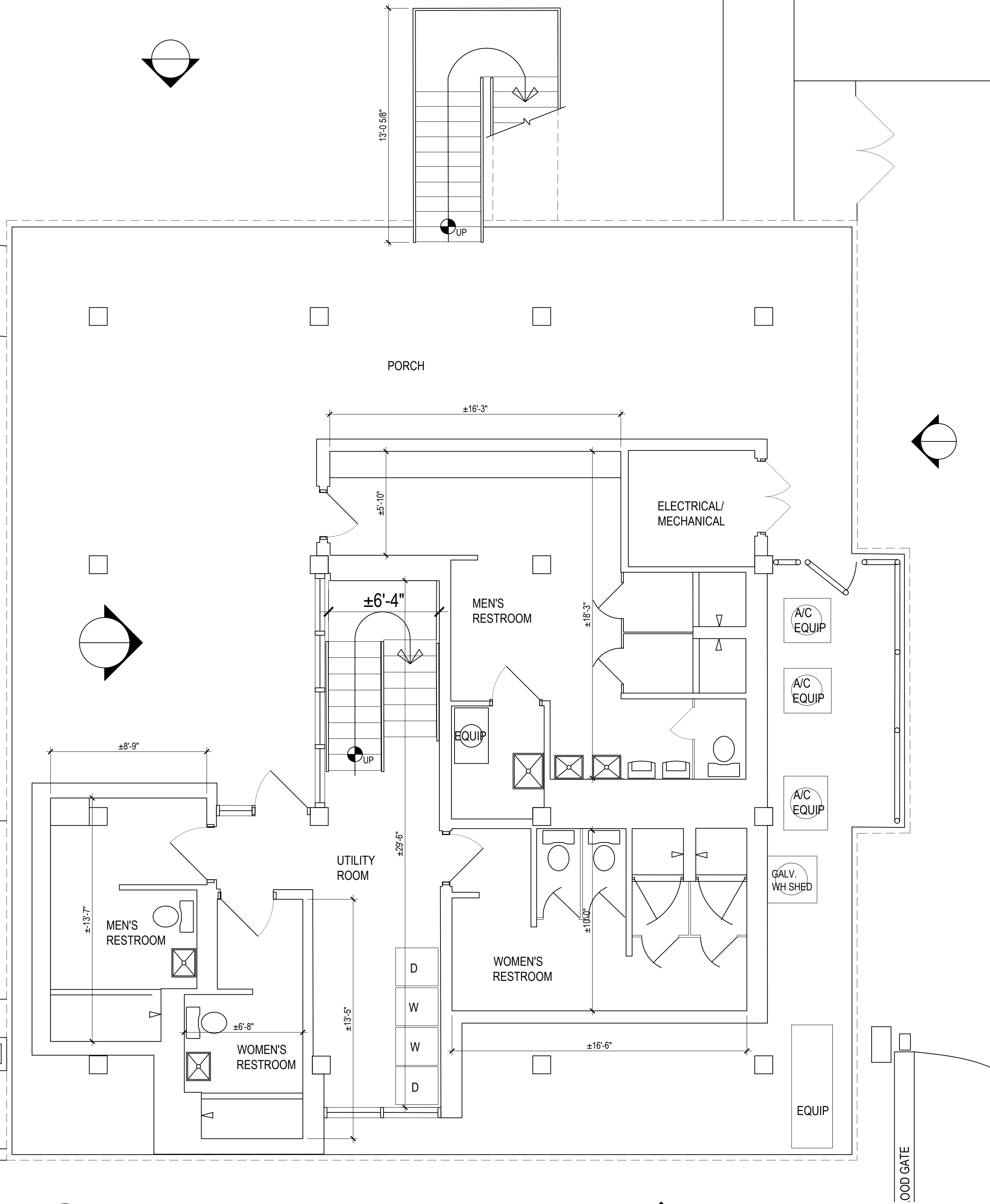
GENERAL PLAN NOTES:

- DIMENSIONS SHOWN AS ± (PLUS OR MINUS) ARE APPROXIMATE. FIELD VERIFY.
- SEE SHEET A2.01-P2

SPECIFIC INTERIOR NOTES (INTERIORS):

- | | | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------|-------------------------------------------------------------------------------------------------------------------|
| 1 REMOVE EXISTING SHEET CARPET. INSTALL NEW CARPET TILES.. | 3 PAINT EXISTING WOOD WINDOW TRIM. | 12 CLEAN GLASS SURFACES INSIDE AND OUT. |
| 2 CLEAN INTERIOR SURFACES OF MOLD, DUST AND RUST. REMEDIATE HAZARDOUS MATERIALS IDENTIFIED IN MOLD SURVEY REPORT ISSUED BY LEAAF ENVIRONMENTAL, LLC. PAINT CLEANED AND REMEDIATEDED SURFACES THROUGH-OUT. | 4 PAINT WOOD CEILINGS. | 13 HVAC SUPPLY, AIR GRILLS. SEE MECH. |
| | 5 PAINT WOOD DOORS AND TRIM. | 14 CLEAN HVAC SUPPLY AND RETURN DUCTWORK. |
| | 6 PAINT GYPSUM BOARD WALLS. | 15 CLEAN WOOD SHELVING. |
| | 7 PAINT GYPSUM BOARD CEILING. | 16 CLEAN TOILET FIXTURES |
| | 8 CLEAN EXISTING WINDOW SHADES ON ALL WINDOWS. | 17 NEW CEILING FANS. |
| | 9 CLEAN CERAMIC TILE FLOOR AND GROUT. | 18 REMOVE LOOSE THIN CONCRETE OVERLAY TO ORIGINAL CONCRETE ALTERNATE NO. 2 SURFACE. INSTALL NEW CONCRETE OVERLAY. |
| | 10 CLEAN CERAMIC TILE WALLS AND GROUT. | 19 NEW STEEL PIPE GUARD & HAND RAILS (PAINTED) |
| | 11 CLEAN TOILET PARTITIONS. | |

20 NEW STEEP PIPE GUARD RAILS (PAINTED)



1 1ST FLOOR PLAN NO WORK 1ST FLOOR
A1.01 SCALE: 1/4" = 1'-0"

2 2ND FLOOR PLAN
A1.01 SCALE: 1/4" = 1'-0"



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221 LAKE MARINA AVENUE

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TITLE:
FLOOR PLAN

SHEET:

A1.01



ORLEANS MARINA HARBORMASTER
OFFICE RENOVATION

NEW ORLEANS, LA 70124

221 LAKE MARINA AVENUE

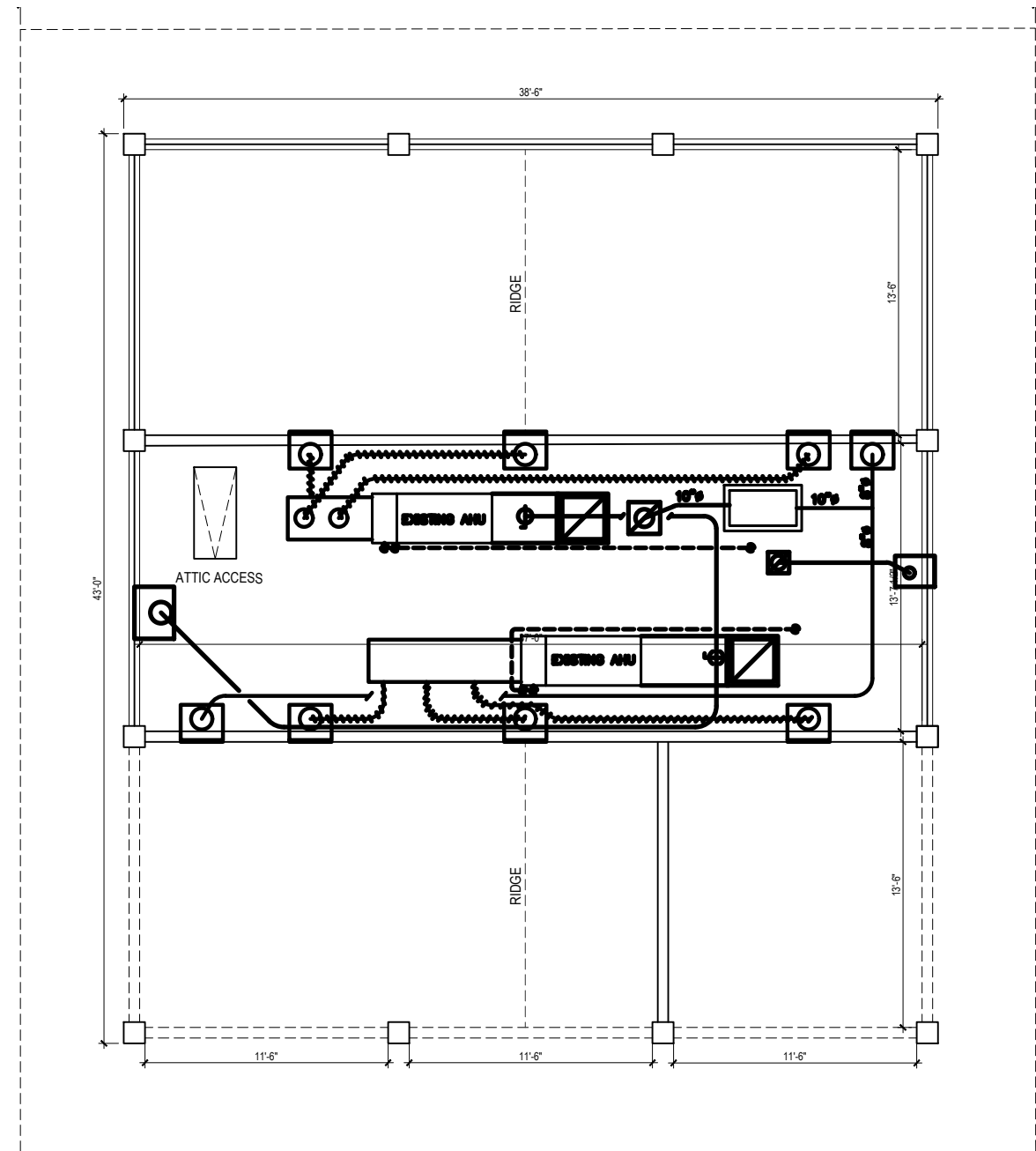
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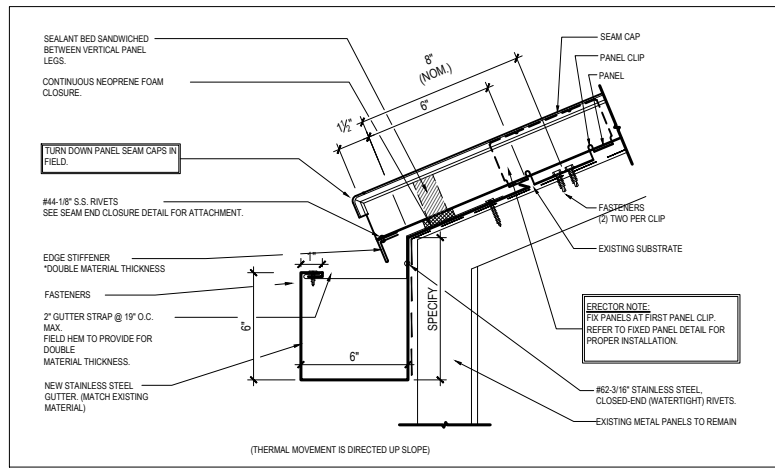
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FLOOR PLAN
ALTERNATE NO. 1

SHEET:

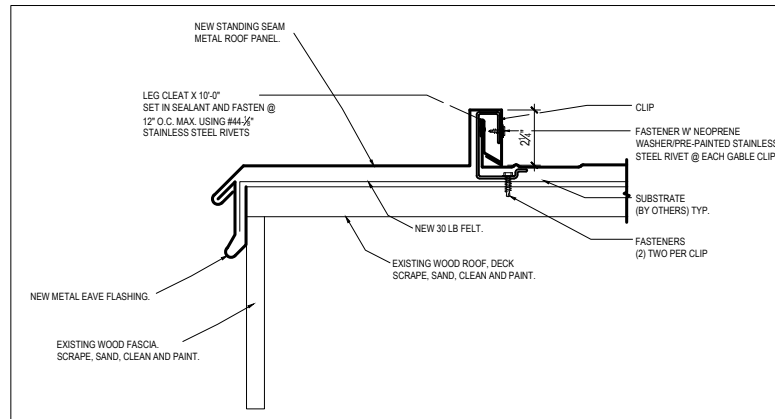
A1.02



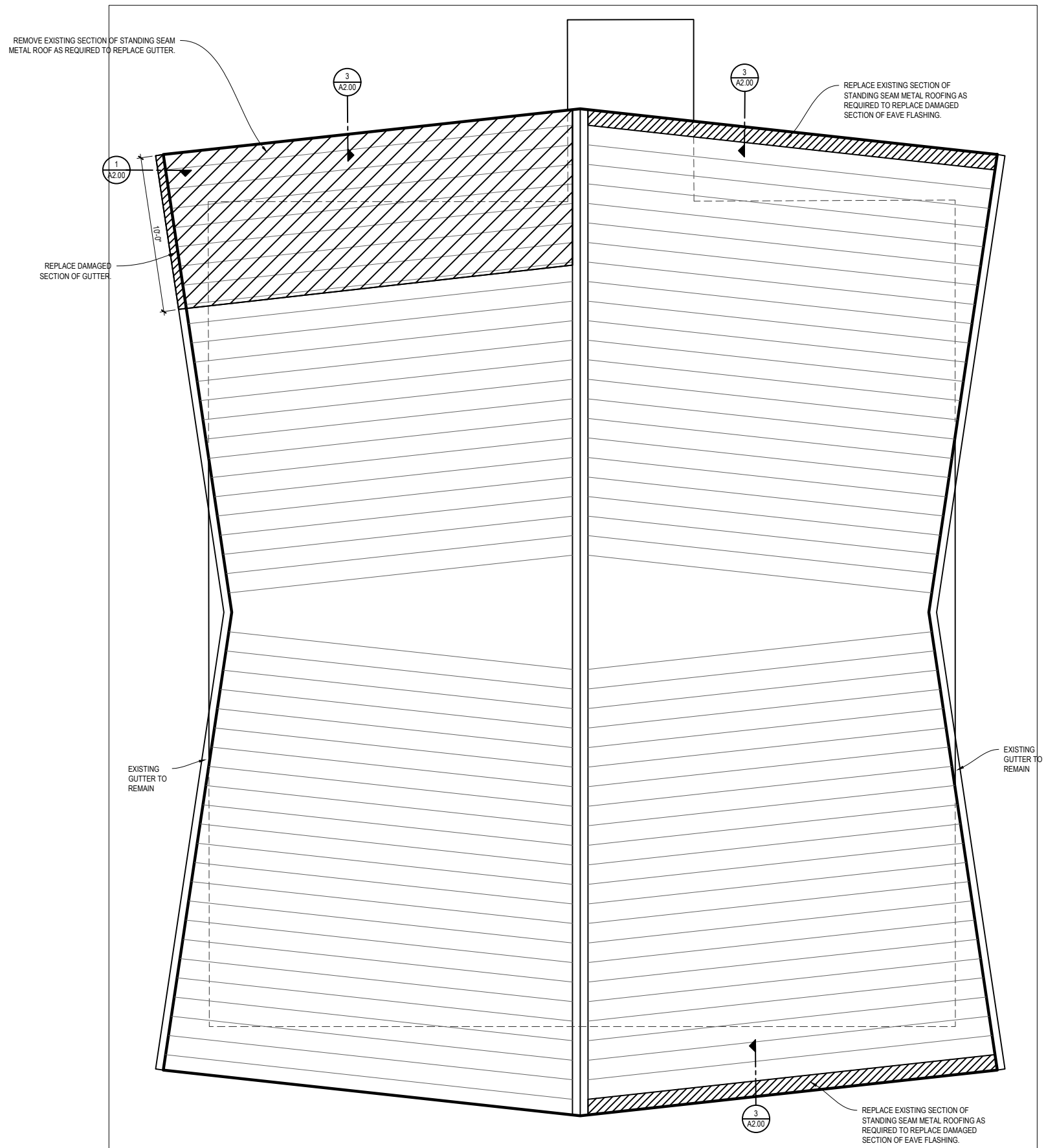
1 ATTIC PLAN
A1.02 SCALE: 1/4" = 1'-0"



1 GUTTER DETAIL
A2.01 3" = 1'-0"



2 FIXED RIDGE / HIP DETAIL - ROOF 3
A2.01 3" = 1'-0"



1 ROOF PLAN
A2.00 1/4" = 1'-0"



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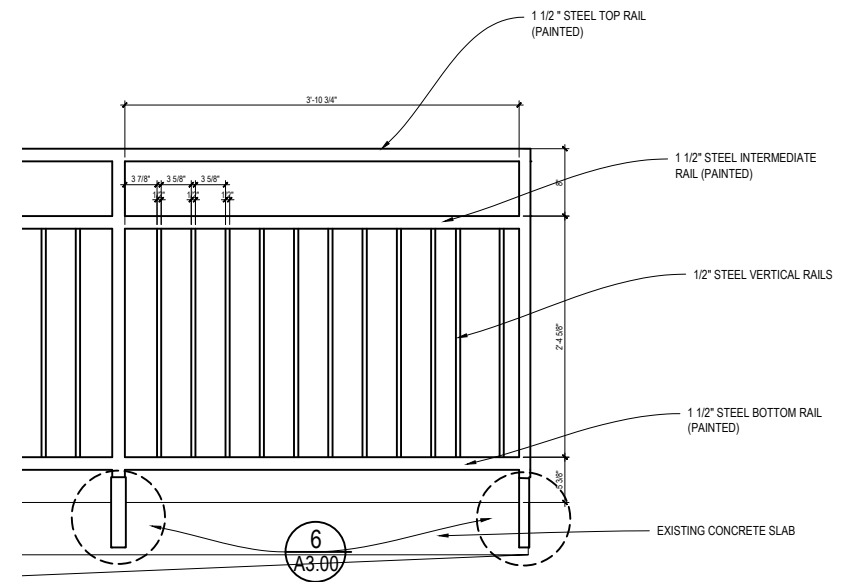
TITLE:
ROOF PLAN &
ROOF DETAILS

SHEET:

A2.00

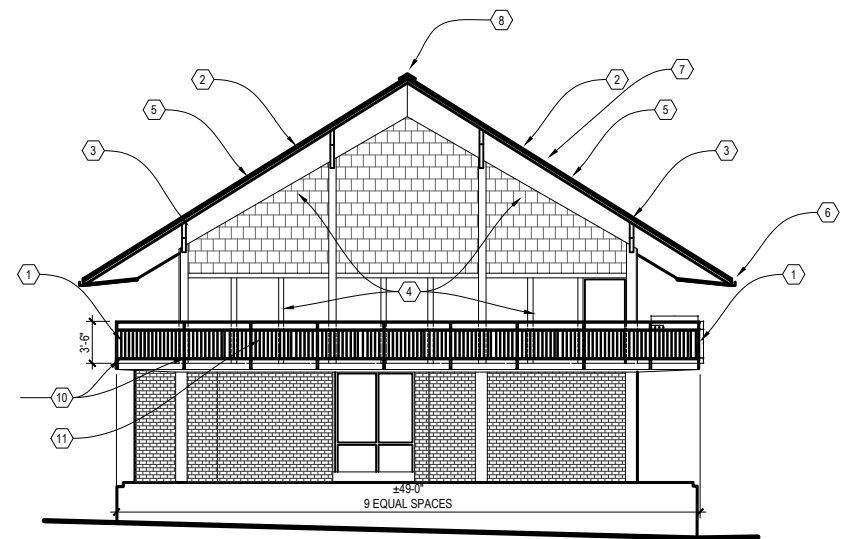


ORLEANS MARINA HARBORMASTER
OFFICE RENOVATION

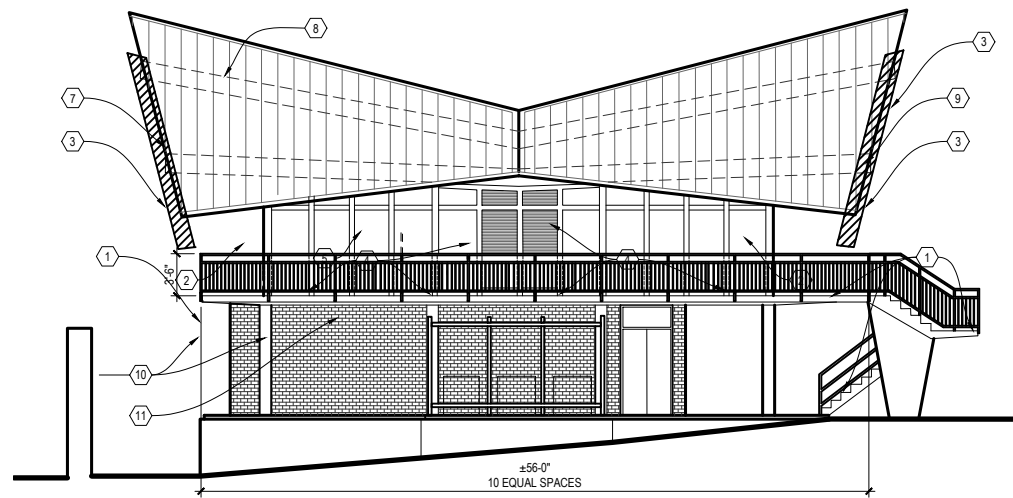


5 PARTIAL GUARDRAIL ELEVATION
A3.00 1" = 1'-0"

6 GUARDRAIL ATTACHMENT DETAIL (TYP.)
A3.00 3" = 1'-0"



1 EXTERIOR ELEVATION - SOUTH FACING
A3.00 1/8" = 1'-0"

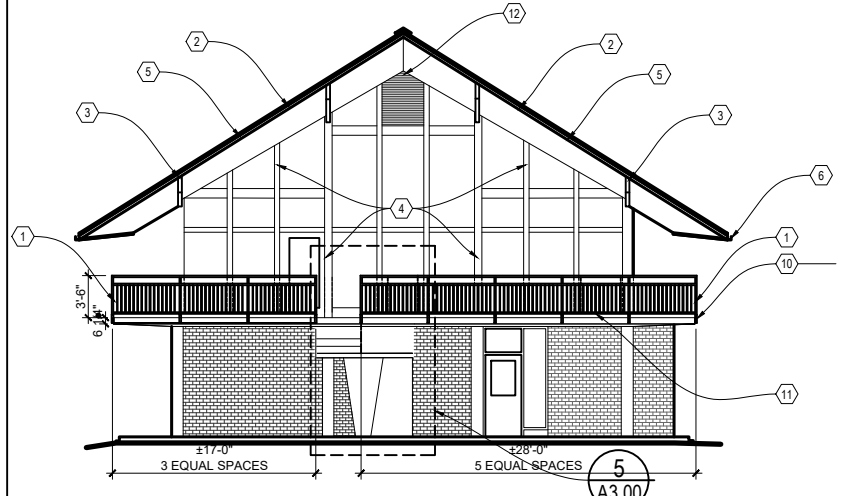


3 EXTERIOR ELEVATION - EAST FACING
A3.00 1/8" = 1'-0"

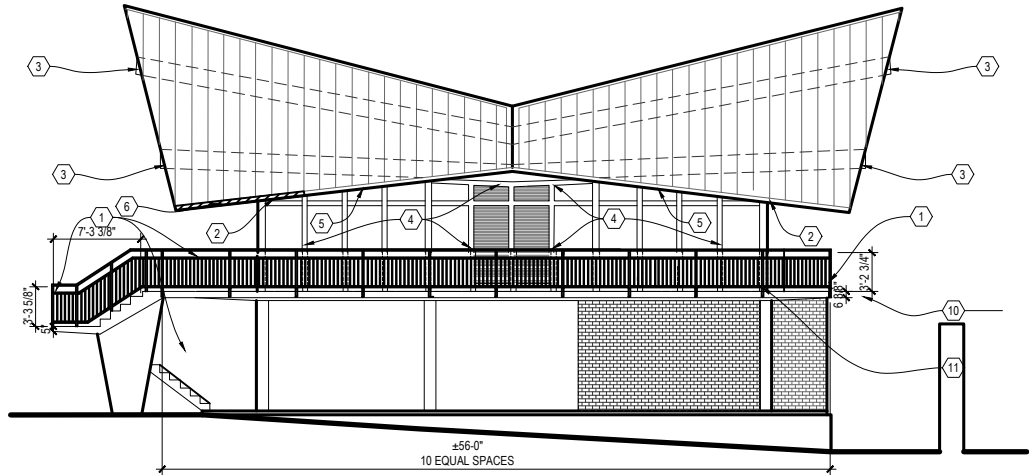
5 PARTIAL EXTERIOR ELEVATION
A3.00 1/8" = 1'-0"

SPECIFIC ROOF & ELEVATION NOTES:

- 1 REMOVE EXISTING 3 RAIL STEEL PIPE AND TUBE RAILING SYSTEM. DISCONNECT FROM EXISTING POST ANCHOR FITTING.
- 2 REPAIR WOOD FASCIA AND PAINT.
- 3 REPAIR LAMINATED BEAMS AND PAINT.
- 4 CLEAN AND PAINT EXPOSED SIDING AND TRIM. WET SEAL PERIMETER OF WOOD TRIM AND GLAZING. SEE DETAIL ON SHEET 3.00 DETAIL 6.
- 5 SCRAPE, SAND AND CLEAN WOOD SOFFIT; PAINT
- 6 REPLACE DAMAGED SECTION OF METAL OF GUTTER. REPLACE TO FIRST JOINT APPROXIMATELY 8'-0".
- 7 REPLACE DAMAGED SECTION OF EAVE FLASHING.
- 8 REPLACE DAMAGED SECTION OF RIDGE FLASHING; APPROXIMATELY 8'-0".
- 9 REPLACE DAMAGED SECTION OF STANDING SEAM METAL ROOF.
- 10 EXISTING POST ANCHOR FITTING. SCRAPE, SAND, CLEAN AND PAINT.
- 11 INSTALL NEW STEEL PIPE AND TUBE RAILING SYSTEM. SECURE TO EXISTING RAILING SYSTEM. PAINT NEW PIPE AND TUBE RAILING SYSTEM.
- 12 REINSTALL METAL LOUVER UNIT STORED ON-SITE AT THIS LOCATION



2 EXTERIOR ELEVATION - NORTH FACING
A3.00 1/8" = 1'-0"



4 EXTERIOR ELEVATION - WEST FACING
A3.00 1/8" = 1'-0"

GENERAL PLAN NOTES:

1. DIMENSIONS SHOWN AS ± (PLUS OR MINUS) ARE APPROXIMATE. FIELD VERIFY

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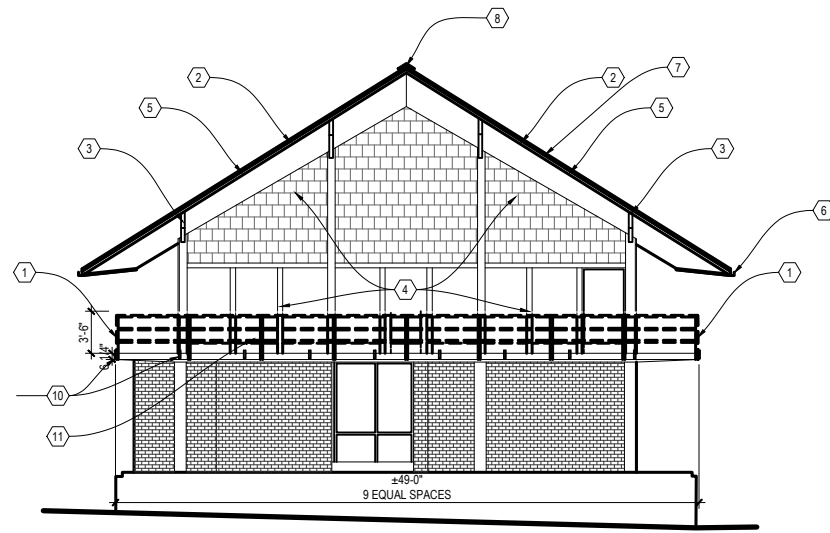
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SHEET:

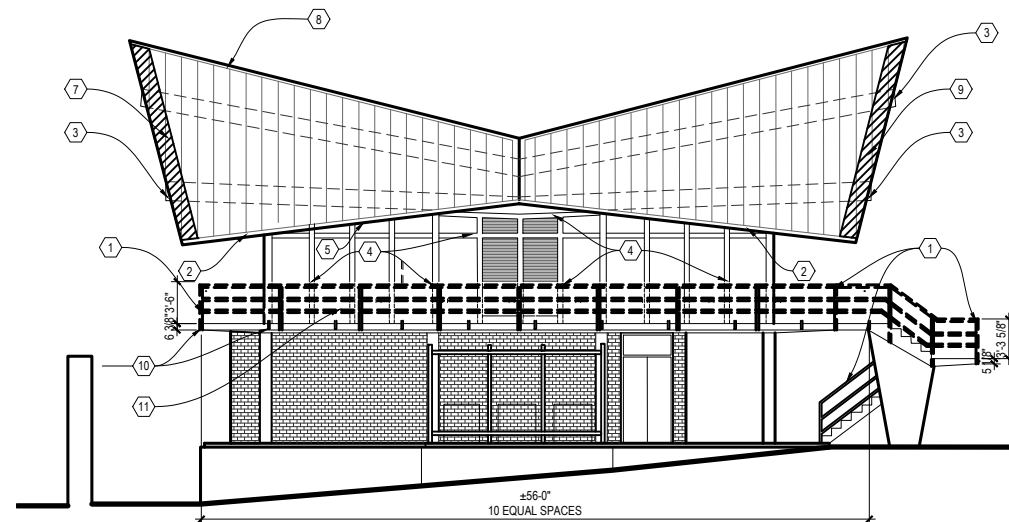
A3.00



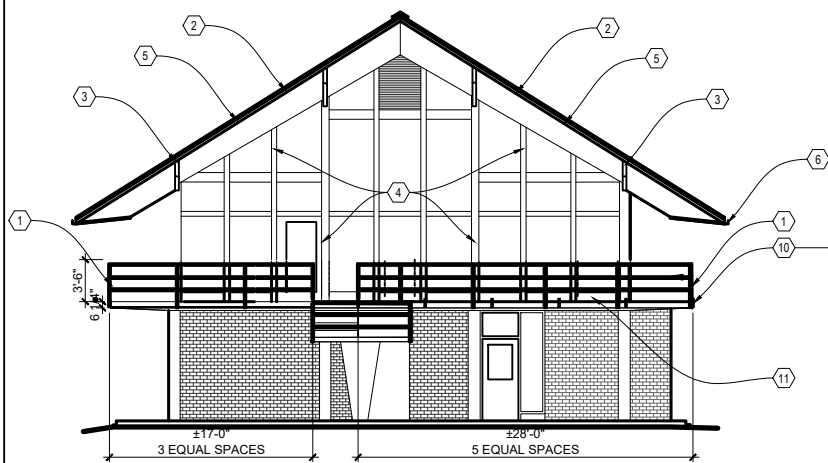
ORLEANS MARINA HARBORMASTER
OFFICE RENOVATION



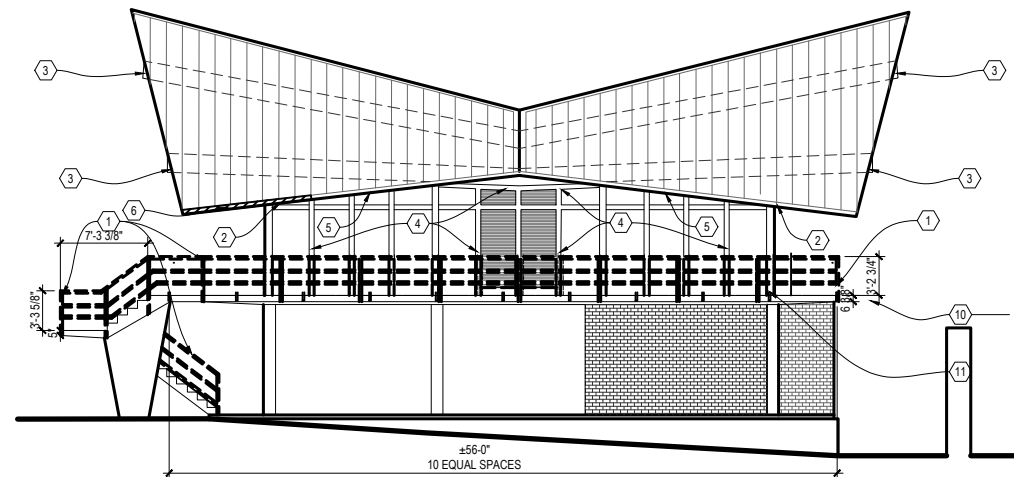
1 EXTERIOR ELEVATION - SOUTH FACING
A3.00 1/8" = 1'-0"



3 EXTERIOR ELEVATION - EAST FACING
A3.00 1/8" = 1'-0"



2 EXTERIOR ELEVATION - NORTH FACING
A3.00 1/8" = 1'-0"



4 EXTERIOR ELEVATION - WEST FACING
A3.00 1/8" = 1'-0"

- SPECIFIC & ELEVATION DEMO NOTES:**
- ① REMOVE EXISTING 3 RAIL STEEL PIPE AND TUBE RAILING SYSTEM. DISCONNECT FROM EXISTING POST ANCHOR FITTING.
 - ②

GENERAL PLAN NOTES:

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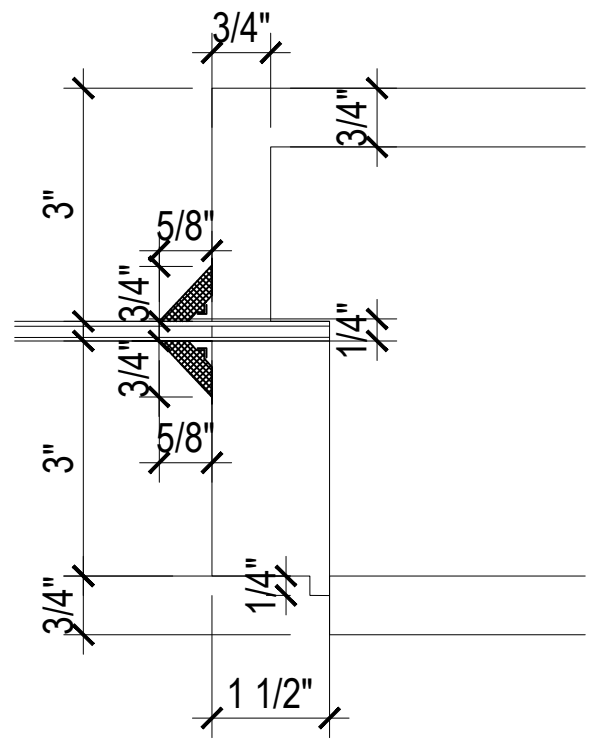
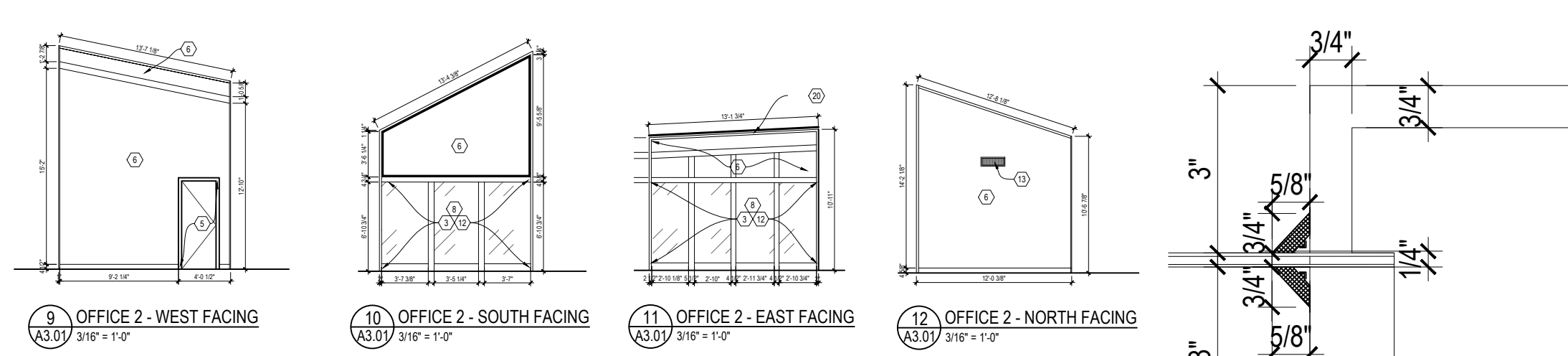
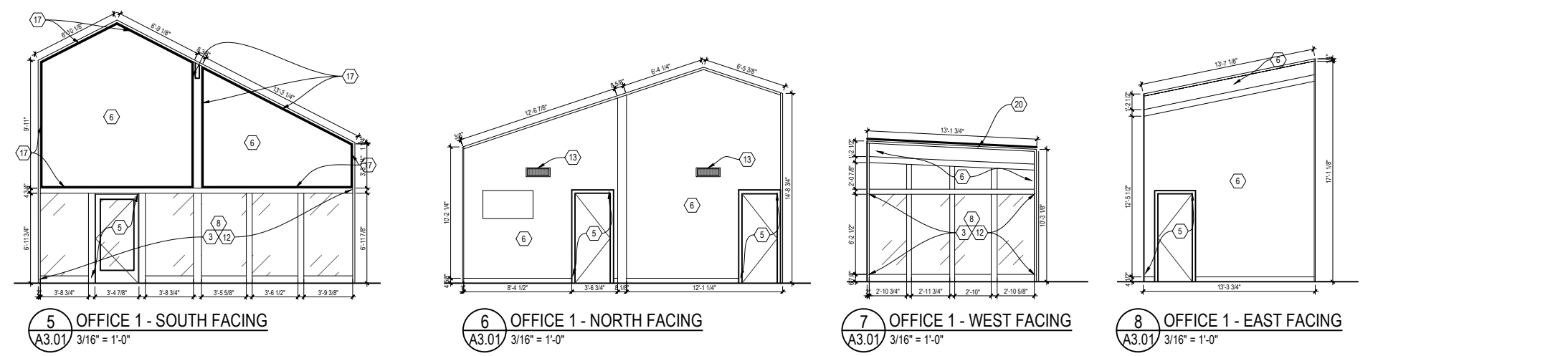
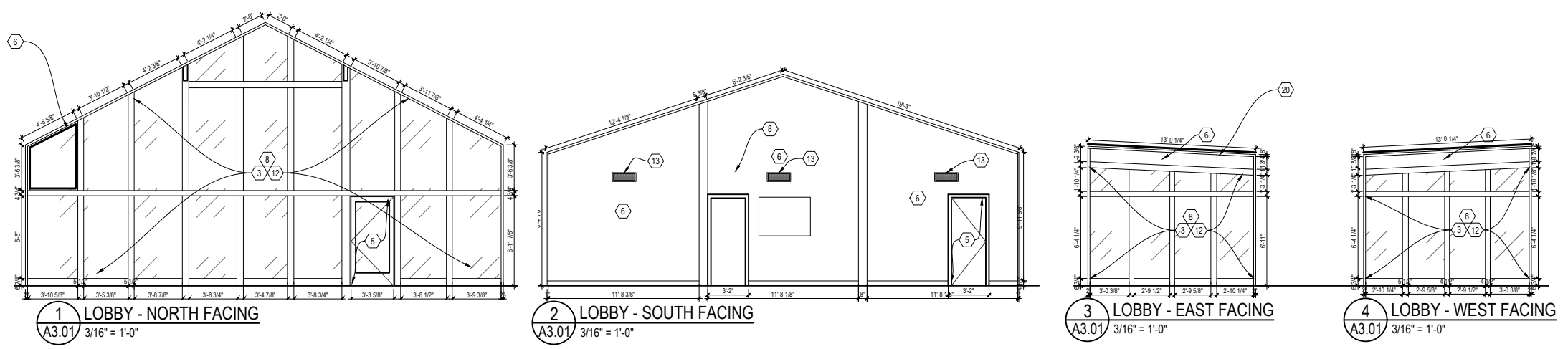
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NEW ORLEANS, LA 70124

ORLEANS MARINA HARBORMASTER
OFFICE RENOVATION

221 LAKE MARINA AVENUE



SPECIFIC INTERIOR NOTES (INTERIORS):

- 1 REMOVE EXISTING SHEET CARPET. INSTALL NEW CARPET TILES.
- 2 CLEAN INTERIOR SURFACES OF MOLD, DUST AND RUST. REMEDIATE HAZARDOUS MATERIALS IDENTIFIED IN MOLD SURVEY REPORT ISSUED BY LEAF ENVIRONMENTAL, LLC. PAINT CLEANED AND REMEDIATED SURFACES THROUGH-OUT.
- 3 PAINT EXISTING WOOD WINDOW TRIM.
- 4 PAINT WOOD CEILINGS.
- 5 PAINT WOOD DOORS AND TRIM.
- 6 PAINT GYPSUM BOARD WALLS.
- 7 PAINT GYPSUM BOARD CEILING.
- 8 CLEAN EXISTING WINDOW SHADES ON ALL WINDOWS.
- 9 CLEAN CERAMIC TILE FLOOR AND GROUT.
- 10 CLEAN CERAMIC TILE WALLS AND GROUT.
- 11 CLEAN TOILET PARTITIONS.
- 12 CLEAN GLASS SURFACES INSIDE AND OUT.
- 13 HVAC SUPPLY, AIR GRILLS. SEE MECH.
- 14 CLEAN HVAC SUPPLY AND RETURN DUCTWORK.
- 15 CLEAN WOOD SHELVING.
- 16 CLEAN TOILET FIXTURES
- 17 CUT OUT 3/8" WIDE STRIP OF GYP. BOARD. CLEAN JOINT AND INSTALL BACKER ROD AND SEALANT.
- 18 INSTALL SEALANT FLUSH WITH GYP. BOARD AT MULTIPLE HOLES IN WALL AND AROUND PENETRATIONS.
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- 20 INSTALL SEALANT AT TOP OF WINDOW WALL TRIM AND BOTTOM OF ROOF DECKING W/ BEVELED EDGES.
- 21 REATTACH LOOSE WOOD TRIM.
- 22 AT WOOD TO WOOD JOINT, RAKE OUT DEBRIS, OLD PAINT, ETC. INSTALL NEW SEALANT JOINT

GENERAL PLAN NOTES:

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2. SEE SHEET A2.01-P2

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2ND FLOOR
INTERIOR ELEVATIONS

SHEET:
A3.01



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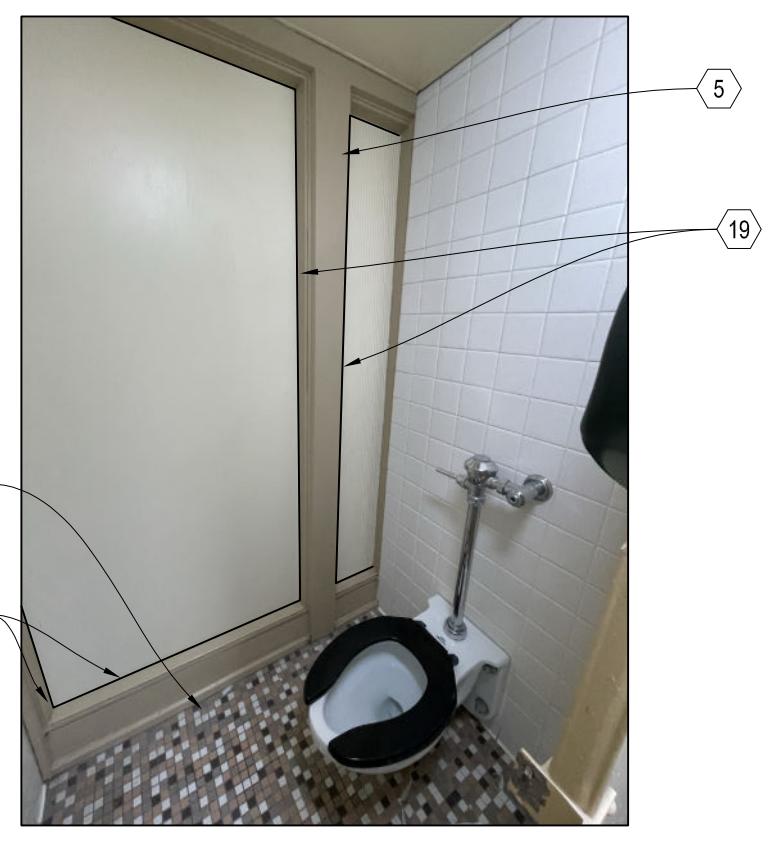
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SHEET:

A3.01P1



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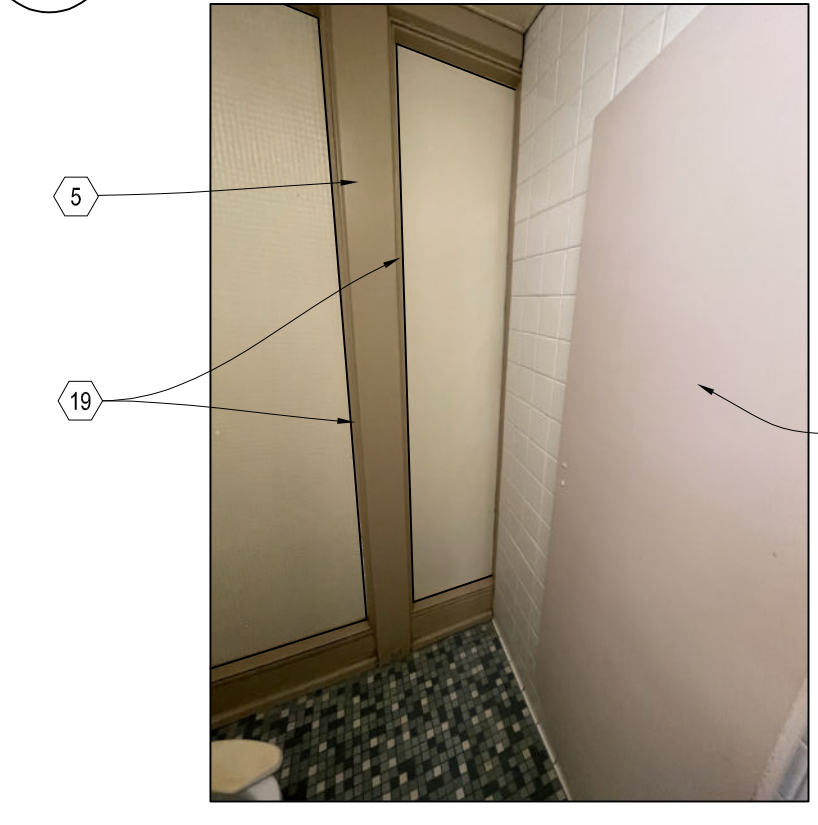
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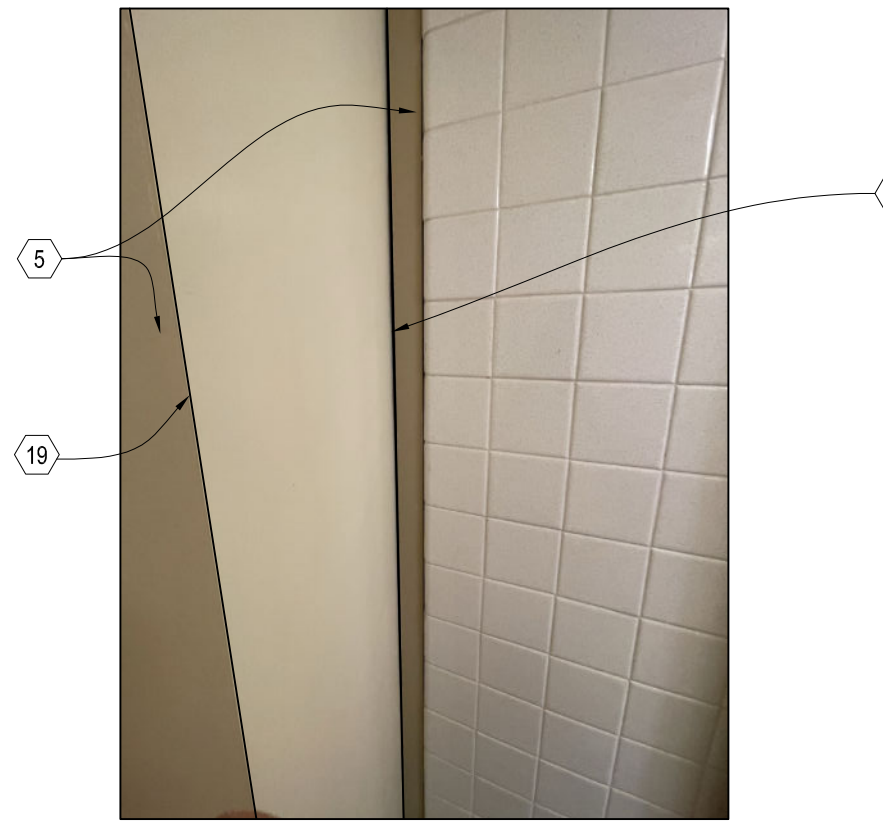
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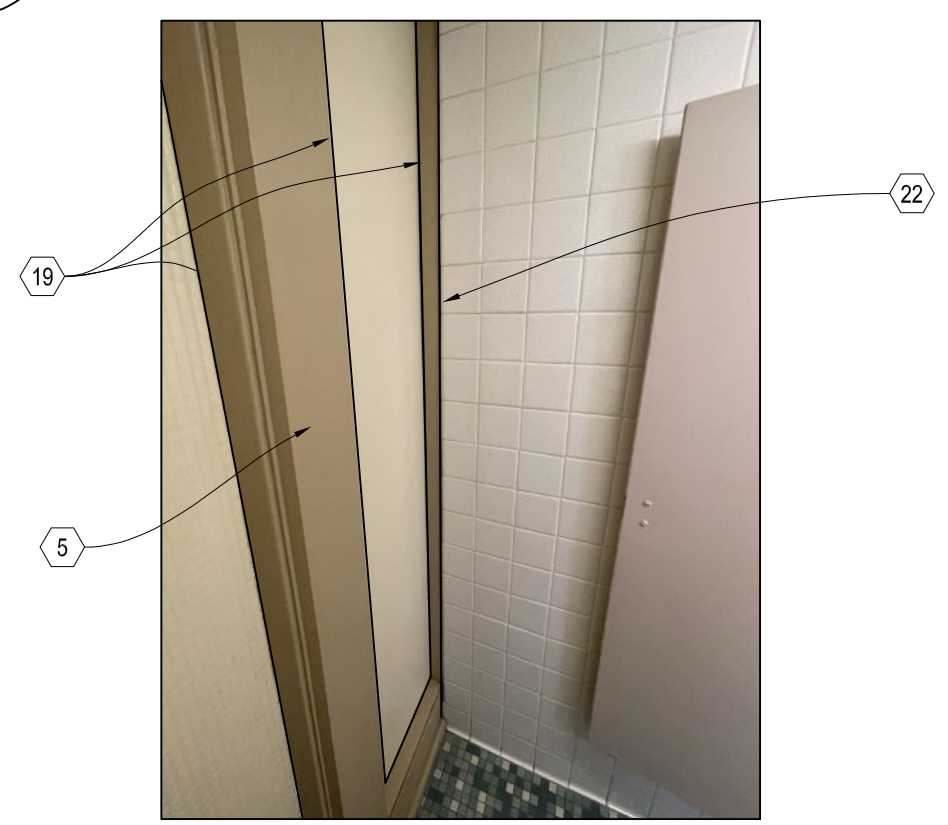
4 RESTROOM
A3.01-P1 SCALE: N.T.S.



5 RESTROOM
A3.01-P1 SCALE: N.T.S.



6 RESTROOM
A3.01-P1 SCALE: N.T.S.



7 RESTROOM
A3.01-P1 SCALE: N.T.S.



8 WINDOW TYPICAL
A3.01-P1 SCALE: N.T.S.



9 WINDOW TYPICAL
A3.01-P1 SCALE: N.T.S.



10 LOBBY
A3.01-P1 SCALE: N.T.S.



11 LOBBY
A3.01-P1 SCALE: N.T.S.



12 LOBBY
A3.01-P1 SCALE: N.T.S.



13 LOBBY
A3.01-P1 SCALE: N.T.S.

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2. SEE SHEET A2.01-P2



14 LOBBY
A3.01-P2SCALE: N.T.S.



15 LOBBY
A3.01-P2SCALE: N.T.S.



16 LOBBY
A3.01-P2SCALE: N.T.S.



17 LOBBY
A3.01-P2SCALE: N.T.S.



18 OFFICE 1
A3.01-P2SCALE: N.T.S.

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GENERAL PLAN NOTES:

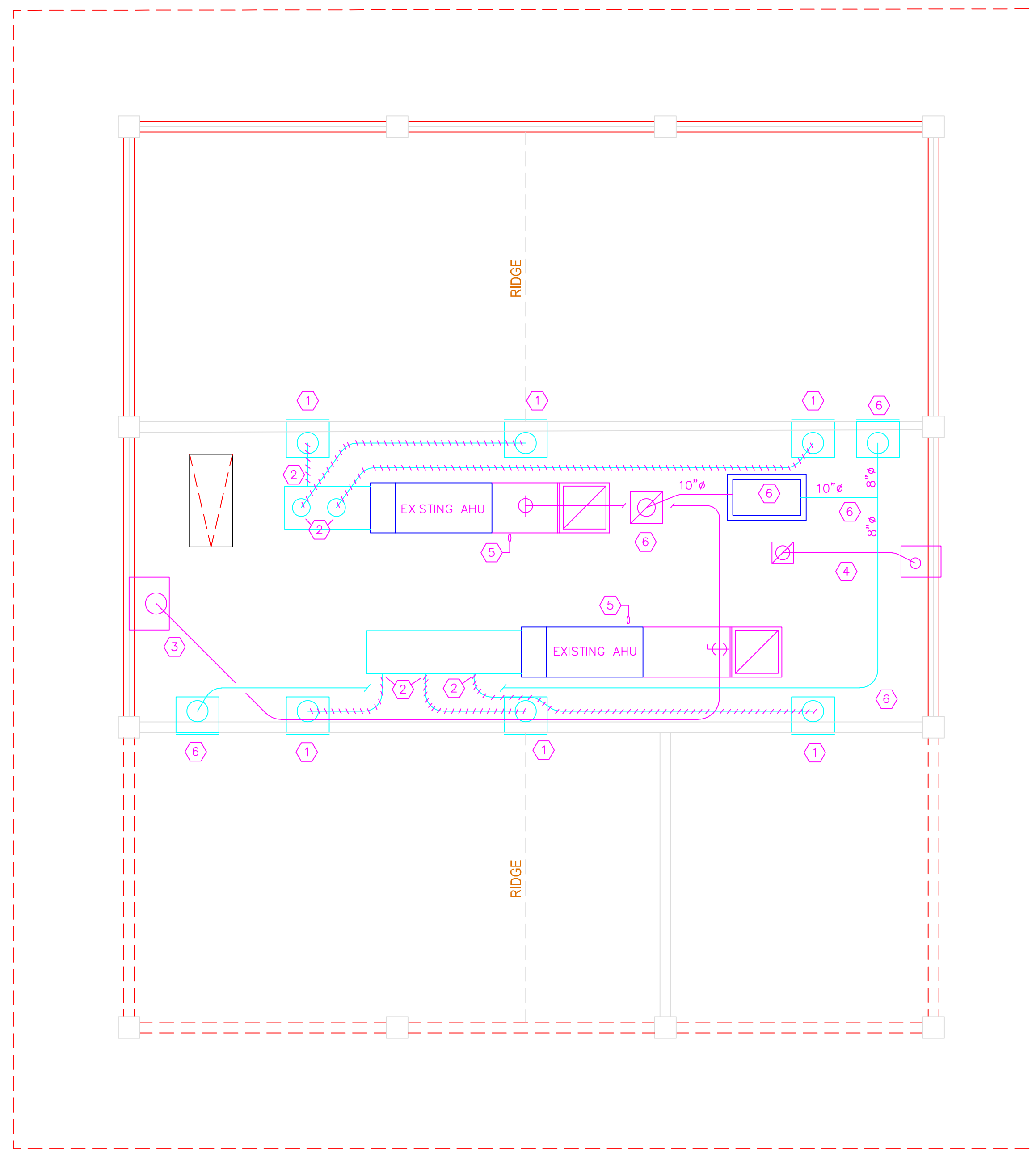
- 1. DIMENSIONS SHOWN AS ± (PLUS OR MINUS) ARE APPROXIMATE. FIELD VERIFY
- 2. ALL WINDOWS REQUIRING WORK ARE COVERED W/ MECO TYP. SHADES. CONTRACTOR SHALL LOG LOCATION OF EACH BLIND, REMOVE BLIND TO PERFORM SEALANT WORK AND SECURE BLIND BACK TO ORIGINAL LOCATION



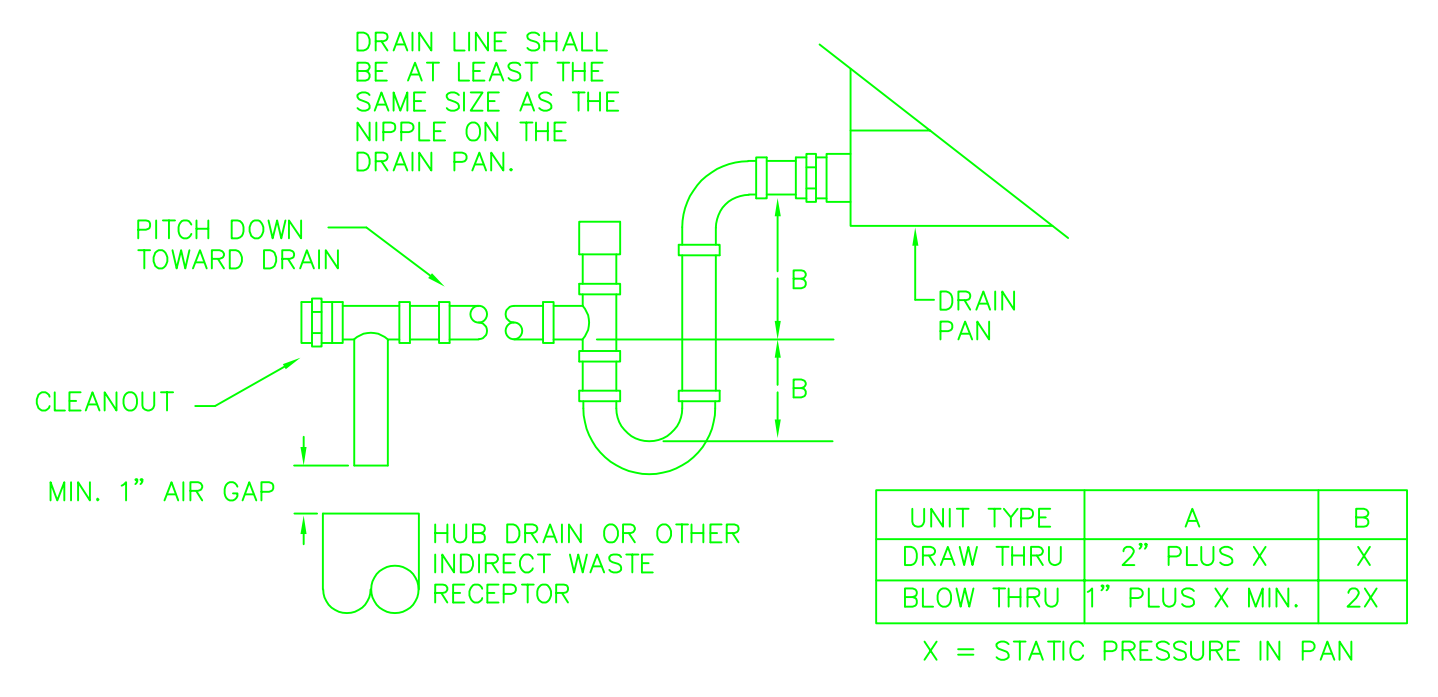
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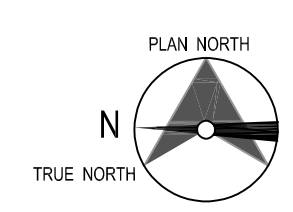


- REFERENCE NOTES:**
- 1 REMOVE EXISTING GRILLE AND P.I. BOX. CLEAN GRILL THOROUGHLY. INSTALL NEW P.I. BOX FROM ATTIC SIDE AND SEAL AIRTIGHT TO DRYWALL AND FRAMING WITH FOAM SEALANT OR CAULK. P.I. BOX MINIMUM R-VALUE SHALL BE 8.0.
 - 2 REPLACE EXISTING 10"Ø PREINSULATED FLEX DUCT TO EACH NEW P.I. BOX. MIN. R-VALUE OF 8.0. ROUTE DUCTWORK IN STRAIGHT LINES TO AVOID CRIMPS, SAGGING, OR IMPINGEMENT. USE SADDLES WHERE DUCTWORK IS SUPPORTED BY STRAPS.
 - 3 EXISTING OA DUCT TO REMAIN.
 - 4 EXISTING EXHAUST DUCT TO REMAIN.
 - 5 REPLACE EXISTING UNIT CONDENSATE TRAP WITH NEW TRAP PER DETAIL THIS SHEET. INSULATE ENTIRE PIPING RUN FROM UNIT TO DISCHARGE LOCATION WITH MINIMUM 3" ARMAFLEX PREFORMED PIPE INSULATION. SEAL ALL JOINTS IN INSULATION SYSTEM.
 - 6 ALTERNATE NO.1 - FURNISH AND INSTALL NEW DEHUMIDIFIER IN ATTIC AND DUCT TO ADJACENT CONDITIONED SPACES AS SHOWN. ROUTE PREINSULATED 10"Ø FLEX DUCT (MIN 8.0 R-VALUE) FROM NEW RETURN GRILL THROUGH NEW UNIT AND NEW 10"Ø AND 8"Ø FLEX DUCT TO NEW SUPPLY GRILLS AS SHOWN. INSTALL DEHUMIDIFIER IN STAINLESS STEEL SAFE PAN WITH FLOAT SWITCH, AND SUSPEND FROM STRUCTURE ABOVE WITH ALL-THREAD ROD AND ANGLE IRON TRAPEZE SUPPORTS. SET UNIT-INTEGRATED CONTROLS TO 50%RH. ROUTE INSULATED DRAIN LINE TO NEAREST POINT OF DISPOSAL. DEHUMIDIFIER EQUAL TO APRILAIRE MODEL E130.



2 CONDENSATE DRAIN PIPING DETAIL
M1.01 NOT TO SCALE

1 ATTIC LEVEL PARTIAL MECHANICAL PLAN
M1.01 1/4" = 1'-0"



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TITLE:
MECHANICAL FLOOR PLAN
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ME1.01