

GENERAL NOTES:

1. SCOPE OF WORK: THE SCOPE OF WORK FOR THIS PROJECT CAN GENERALLY BE DESCRIBED AS FOLLOWS:

- REMOVE REMAINING EXISTING MODIFIED BITUMEN ROOF SYSTEMS DOWN TO DECKING AND REPLACE WITH NEW TPO ROOF MEMBRANE SYSTEMS.
- REPLACE DAMAGED METAL ROOF DECK WITH NEW DECK WHERE DAMAGE IS IDENTIFIED. NEW DECK REPAIRS TO BE ADDED TO THE PROJECT SCOPE ON A UNIT PRICE BASIS.
- SINGLE SOURCE REQUIREMENT: WITH THE EXCEPTION OF THE WOOD NAILERS AND BLOCKING, MISCELLANEOUS FASTENERS USED IN CONNECTING WOOD NAILERS AND BLOCKING TO THE BUILDING STRUCTURE, AND SHOP FORMED METAL FLASHING, ALL MATERIALS USED IN THE INSTALLATION OF THE NEW ROOF SHALL BE FURNISHED BY THE TPO ROOFING MANUFACTURER, WHERE AN ITEM IS NOT AVAILABLE FROM THE ROOF SYSTEM MANUFACTURER, SAID ITEM SHALL MEET ALL REQUIREMENTS OF THE ROOF SYSTEM MANUFACTURER AND BE APPROVED FOR USE IN CONJUNCTION WITH THE ROOF SYSTEM PER THE TPO ROOFING MANUFACTURER.

2. THE TERM "DOCUMENTS" USED IN THESE GENERAL NOTES REFERS TO THE DRAWINGS, SPECIFICATIONS, PROJECT MANUAL AND ANY ADDENDUM ISSUED.

3. THE CONTRACTOR SHALL VISIT THE SITE AND THOROUGHLY ACQUAINT HIMSELF WITH ALL ASPECTS OF THE WORK OUTLINED IN THESE BIDDING AND CONSTRUCTION DOCUMENTS PRIOR TO SUBMITTING A BID. ANY DISCREPANCIES SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE A/E.

4. EXISTING CONDITIONS INDICATED ON THE DRAWINGS ARE BASED ON INFORMATION PROVIDED BY THE OWNER AND LIMITED FIELD OBSERVATIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL FIELD AND JOB CONDITIONS PRIOR TO PREPARING HIS BID. ANY CONDITIONS NOT ACCURATELY DESCRIBE IN THE DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE A/E PRIOR TO BID DATE. FAILURE TO DO SO WILL RENDER THE CONTRACTOR RESPONSIBLE FOR THE CONDITION SHOULD HE BE AWARDED THE CONTRACT.

5. DO NOT SCALE DRAWINGS.

6. CONTRACTOR IS ADVISED THAT IT IS NOT PRACTICAL OR FEASIBLE TO SHOW ALL EXISTING CONDITIONS; HOWEVER, AS STATED ABOVE, THE CONDITIONS SHOWN ON THE DRAWINGS ARE MEANT TO BE USED AS EXAMPLES OF THE EXISTING CONDITIONS. THE CONTRACTOR IS RESPONSIBLE TO COMPLY WITH NOTE 3 ABOVE WHETHER THE EXISTING CONDITION IS SHOWN OR NOT SHOWN ON THE DRAWINGS.

7. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, LABOR, ENGINEERING AND EQUIPMENT FOR THE COMPLETE CONSTRUCTION OF THE ALL ROOFS INCLUDING ALL COVERING TRIM, FASTENERS, CLOSURES, SEALANTS, VENTS, AND OTHER ACCESSORIES, AS INDICATED ON THE DRAWINGS AND IN THE SPECIFICATIONS. PROVIDE ALL NECESSARY SUPPLEMENTARY ITEMS FOR A COMPLETE WATERTIGHT INSTALLATION INTENDED BY DOCUMENTS. COMPLY WITH OTHER REQUIREMENTS OF THESE DOCUMENTS FOR ALL SHEET METAL WORK INCLUDING FLASHINGS, TRIM, VENTS, ETC.

8. THE A/E SHALL APPLY FOR THE BUILDING PERMIT. HOWEVER, THE CONTRACTOR SHALL PICK UP AND PAY FOR ALL REQUIRED BUILDING PERMITS FROM THE AUTHORITY HAVING JURISDICTION (AHJ).

9. THE CONTRACTOR SHALL NOT SPLIT THE SET OF CONSTRUCTION DOCUMENTS TO DISTRIBUTE TO THEIR SUBCONTRACTORS. THE DOCUMENTS PROVIDED FOR CONSTRUCTION ARE TO REMAIN A COMPLETE SET OF DOCUMENTS AND ARE TO BE USED FOR CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE AND PERFORM ANY WORK SHOWN ON ANY SHEET OF THE DOCUMENTS REGARDLESS OF WHERE IT IS SHOWN. IF THERE IS CONFLICTING INFORMATION IN THE DOCUMENTS, THEN THE MORE STRINGENT OF THE REQUIREMENTS AS DETERMINED BY THE A/E SHALL BE REQUIRED.

10. CONTRACTOR SHALL FULLY ADHERE TO ALL REQUIREMENTS FOR PRODUCT SUBSTITUTION REQUESTS AS OUTLINED IN THE PROJECT MANUAL.

11. CONTRACTORS ARE ADVISED THAT THE A/E SHALL NOT ISSUE TO CONTRACTOR OR ANY OF HIS SUBCONTRACTORS THE AUTOCAD DRAWINGS FOR THIS PROJECT. ALL DRAWINGS REQUIRED BY THE CONTRACTOR OR ANY OF HIS SUBCONTRACTORS WILL HAVE TO BE DRAWN BY THE APPROPRIATE PARTY.

12. THE CONTRACTOR SHALL ALLOW THE OWNER AND THE A/E ACCESS TO THE SITE AT ALL TIMES.

13. CONTRACTOR SHALL ALWAYS CONDUCT HIS OPERATIONS AS TO ENSURE THE LEAST INCONVENIENCE TO THE OWNER, GENERAL PUBLIC AND ADJACENT PROPERTY OWNERS.

14. ALL WORK MUST CONFORM TO THE REQUIREMENTS OF THE DEPARTMENTS OF INSPECTION AND CODE ENFORCEMENT, SAFETY AND PERMITS, LOUISIANA STATE FIRE MARSHAL'S OFFICE, PUBLIC WORKS DEPARTMENTS, PUBLIC UTILITIES, ACCOMPANYING PROJECT SPECIFICATIONS AND OTHER SUCH PARISH, STATE, OR FEDERAL STANDARDS THAT ARE APPLICABLE.

15. STAGING AREA: CONTRACTOR SHALL STORE ALL HIS MATERIALS, SUPPLIES, AND EQUIPMENT IN THE STAGING AREA. CONTRACTOR SHALL PROTECT HIS STAGING AREA WITH TEMPORARY FENCING AS HE DEEMS NECESSARY AGAINST THEFT AND VANDALISM. OWNER SHALL NOT BE RESPONSIBLE FOR THEFT AND VANDALISM TO CONTRACTOR'S TRAILER OR ANY MATERIALS, SUPPLIES OR EQUIPMENT STORED IN THE STAGING AREA.

16. CONTRACTOR SHALL PROVIDE TEMPORARY FENCING FOR THE DURATION OF THE PROJECT. CONSTRUCT AND MAINTAIN FENCING AND BARRICADES SUFFICIENT TO PREVENT INJURY TO PERSONS AND DAMAGE TO PROPERTY IN ACCORDANCE WITH ALL SAFETY LAWS AND REQUIREMENTS. PROVIDE FENCING TO EXCLUDE UNAUTHORIZED VISITORS FROM THE SITE. THE TYPE OF PROTECTION FENCING IS TO BE DETERMINED BY THE CONTRACTOR; HOWEVER, IT WAS NOTED THAT CAUTION TAPE OR A SINGLE CHAIN SHALL NOT BE SUFFICIENT.

17. THE USE OF THE TOILET ROOMS IN THE STRUCTURES FOR ANY PURPOSE IS STRICTLY PROHIBITED. CONTRACTOR SHALL PROVIDE SELF-CONTAINED PORTABLE TOILET UNITS FOR USE BY HIS WORK FORCE. CONTRACTOR SHALL PROVIDE CLEAN COLD ICE WATER IN APPROVED WATER JUGS AND DRINKING CUPS FOR HIS WORK FORCE AT ALL TIMES WHEN WORK IS IN PROGRESS. ALL WORKMEN SHALL BE REQUIRED TO DISPLAY THEIR COMPANY IDENTIFICATION BADGE AT ALL TIMES WHEN THEY ARE WORKING AROUND THE BUILDING.

18. ONSITE PARKING FOR CONTRACTOR'S PERSONNEL SHALL BE PERMITTED BUT ONLY AT THE LOCATIONS APPROVED BY THE OWNER. THE CONTRACTOR SHALL NOT ALLOW ANY VEHICLES TO PARK AT ANY OTHER LOCATION ON THE PROJECT SITE.

19. DELIVERIES: VEHICLES DELIVERING MATERIALS, SUPPLIES AND EQUIPMENT FOR THE PROJECT SHALL BE ALLOWED ON THE BUILDING SITE. CONTRACTOR SHALL UNLOAD MATERIALS AND EQUIPMENT IN A TIMELY MANNER AND THEN MOVE THE DELIVERY VEHICLE OFF SITE.

20. WASTE MATERIALS: DISPOSE OF REGULATED AND HAZARDOUS WASTE MATERIALS OFF SITE, IN A LEGAL MANNER AND IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL LAWS, CODES, ORDINANCES AND REGULATIONS. ALL OTHER WASTE MATERIALS SHALL BE DISPOSED OF IN A TRASH DUMPSTER THAT IS PROVIDED BY AND PAID FOR BY THE CONTRACTOR. LOCATE TRASH DUMPSTER AS DIRECTED BY OWNER. USE OF THE OWNER'S TRASH DUMPSTER IS STRICTLY PROHIBITED.

21. CONTRACTORS ARE REQUIRED TO RESEARCH LOCAL NOISE LAWS, CODES AND ORDINANCES ALLOWED AND TIMES ALLOWED.

22. NOISY WORK: CONTRACTOR IS ADVISED THAT THE BUILDING WILL BE OCCUPIED DURING CONSTRUCTION AND THAT IT MAY BE NECESSARY FOR THE OWNER TO DIRECT HIM TO STOP PERFORMING EXCESSIVELY NOISY WORK (SUCH AS GRINDING, DRILLING, SAW CUTTING, JACK HAMMERING, ETC.) IN SOME AREAS. UPON NOTIFICATION THE CONTRACTOR SHALL IMMEDIATELY STOP THE NOISY WORK AND RELOCATE HIS WORK TO ANOTHER AREA. NO EXTRA CHARGE SHALL BE ALLOWED IF THE CONTRACTOR IS DIRECTED TO STOP WORK IN A SPECIFIC AREA. CONTRACTOR IS ADVISED THAT THE NOISY WORK WILL HAVE TO BE PERFORMED DURING OFF HOURS, WEEKENDS OR HOLIDAYS AS DIRECTED BY THE OWNER. NOISY WORK TO BE PERFORMED ON THIS PROJECT INCLUDING CORE DRILLING, SAW CUTTING, GRINDING, ETC. REQUIRES 48 HOURS ADVANCE WRITTEN NOTICE.

23. WORK THAT INVOLVES ODOR EMITTING MATERIAL OR EQUIPMENT: CONTRACTOR IS ADVISED THAT THE BUILDING WILL BE OCCUPIED DURING CONSTRUCTION AND THAT IT MAY BE NECESSARY FOR THE OWNER TO DIRECT HIM TO STOP PERFORMING WORK THAT PRODUCES AN OBJECTIONABLE ODOR. SUCH ODOROUS WORK SHALL INCLUDE BUT SHALL NOT BE LIMITED TO PAINTING, ADHESIVES, ROOFING DEMOLITION AND/OR INSTALLATION, EQUIPMENT THAT PRODUCES EXHAUST, OR ANY OTHER OBJECTIONABLE ODOR PRODUCED BY THE WORK. UPON NOTIFICATION THE CONTRACTOR SHALL IMMEDIATELY STOP THE ODOROUS WORK AND PERFORM WORK TO ANOTHER AREA. NO EXTRA CHARGE SHALL BE ALLOWED IF THE CONTRACTOR IS DIRECTED TO STOP ODOROUS WORK. CONTRACTOR IS ADVISED THAT THE ODOROUS WORK WILL HAVE TO BE PERFORMED DURING OFF HOURS, AT NIGHT, WEEKENDS OR HOLIDAYS AS DIRECTED BY THE OWNER. ODOROUS WORK TO BE PERFORMED ON THIS PROJECT REQUIRES 48 HOURS ADVANCE WRITTEN NOTICE TO THE OWNER.

24. THE CONTRACTOR SHALL MAINTAIN ALL PARTS OF THE CONSTRUCTION SITES IN A CLEAN AND SANITARY CONDITION AT ALL TIMES. OTHER PORTIONS OF THE PROJECT SITE ARE NOT TO BE DISTURBED SUCH AS PARKING LOTS, LANDSCAPE AREAS AND LAWN AREAS. DO NOT ALLOW TRASH AND CONSTRUCTION DEBRIS TO ACCUMULATE AROUND THE PROJECT SITE. REPAIR ALL DAMAGE CAUSED BY THE CONTRACTOR'S OPERATIONS. TAKE ALL PRECAUTIONS NECESSARY TO PROTECT THE BUILDING AND ITS OCCUPANTS DURING THE WORK.

25. WORK HOURS: WORK HOURS FOR THIS PROJECT SHALL BE DURING NORMAL BUSINESS HOURS WHICH ARE GENERALLY 7:00 A.M. TO 5:00 P.M. WORK AFTER NORMAL BUSINESS HOURS, ON THE WEEKENDS AND ON HOLIDAYS SHALL BE AT THE CONTRACTOR'S OPTION AND WITH WRITTEN PERMISSION FROM THE OWNER. OFF HOURS WORK SHALL BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER. REQUEST PERMISSION IN WRITING OR E-MAIL TO PERFORM OFF-HOUR WORK TO THE OWNER 48 HOURS IN ADVANCE OF PERFORMING OFF-HOUR WORK.

26. CONTRACTOR SHALL SUBMIT A DETAILED CONSTRUCTION SCHEDULE AND SCHEDULE OF VALUES TO THE A/E TEN (10) DAYS AFTER RECEIPT OF NOTICE OF AWARD. CONTRACTOR SHALL SUBMIT A REVISED CONSTRUCTION SCHEDULE AT THE PRE-CONSTRUCTION CONFERENCE. CONTRACTOR SHALL SUBMIT REVISED CONSTRUCTION SCHEDULES TO THE A/E MONTHLY THEREAFTER. THE CONTRACTOR IS ADVISED THAT THE A/E WILL NOT APPROVE ANY PAY APPLICATIONS THAT DO NOT HAVE A REVISED CONSTRUCTION SCHEDULE ATTACHED. ANY PAY APPLICATIONS SUBMITTED WITHOUT A REVISED AND CURRENT CONSTRUCTION SCHEDULE SHALL BE RETURNED TO THE CONTRACTOR WITHOUT ACTION.

27. NO SMOKING. SMOKING OR VAPING IS NOT PERMITTED ON THE ROOF OR WITHIN THE PROPERTY'S LIMITS. ANY SMOKING SHALL BE DONE EITHER OFF-SITE OR WITHIN THE CONTRACTOR'S FIELD OFFICE (TRAILER). ANY WORKMEN THAT ARE SEEN SMOKING ON THE CAMPUS SHALL BE DISMISSED FROM THE PROJECT PERMANENTLY. THIS INCLUDES E-CIGARETTES AND VAPING.

28. DRUGS, ALCOHOL AND FIREARMS ARE NOT ALLOWED ANYWHERE ON THE PROJECT SITE.

29. WORKMEN SHALL AT ALL TIMES BE APPROPRIATELY DRESSED. SHIRTS AND SHOES SHALL BE WORN AT ALL TIMES. PANTS SHALL NOT BE WORN BELOW THE WAISTLINE. SHIRTS, HATS OR OTHER CLOTHING MAY NOT HAVE ANY VULGAR REFERENCES, ALCOHOLIC ADVERTISEMENTS, TOBACCO ADVERTISEMENTS, REFERENCES TO DRUGS OR POLITICAL ENDORSEMENTS OF ANY KIND.

30. ALL WORKMEN ARE TO CONDUCT THEMSELVES IN A PROFESSIONAL MANNER AT ALL TIMES AND ANY WORKMAN MAKING CAT CALLS OR WOLF WHISTLES WILL BE IMMEDIATELY ESCORTED OFF THE PROJECT SITE PERMANENTLY.

31. AT ANY TIME, WORK IS IN PROGRESS THE CONTRACTOR SHALL HAVE A SUPERINTENDENT ON SITE DIRECTING THE WORK. THE CONTRACTOR'S SUPERINTENDENT SHALL CHECK IN DAILY WITH THE OWNER'S ON-SITE REPRESENTATIVE AND GIVE THE OWNER'S REPRESENTATIVE HIS MOBILE PHONE NUMBER.

32. THE A/E WILL NOT MAKE COLOR OR MATERIAL SELECTIONS ON INDIVIDUAL PRODUCTS SUBMITTED FOR REVIEW BUT WILL MAKE ALL COLOR AND MATERIAL SELECTIONS AT ONE TIME AFTER HE HAS RECEIVED ALL ITEMS THAT REQUIRE A COLOR AND MATERIAL SELECTION. SAMPLES THAT REQUIRE A COLOR AND/OR MATERIAL SELECTION SHALL BE SUBMITTED TO THE A/E AS SOON AS POSSIBLE SO THAT HE, TOGETHER WITH THE OWNER, MAY COORDINATE ALL COLORS AND MATERIALS OF THE ENTIRE BUILDING AT ONE TIME. NO EXTRA TIME WILL BE GIVEN TO THE CONTRACTOR FOR DELAYS CAUSED BY HIS OFFICE NOT SUBMITTING COLORS AND MATERIALS TO THE A/E IN A TIMELY MANNER.

33. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH THE APPROPRIATE UTILITY COMPANY FOR THE CONSTRUCTION, CONNECTION, RELOCATION OR REMOVAL OF ANY AND ALL UTILITIES REQUIRED FOR THIS PROJECT INCLUDING BUT NOT LIMITED TO ELECTRIC POWER, WATER, SEWER, DRAINAGE, GAS, TELEPHONE, CABLE TELEVISION, SATELLITE TELEVISION, CLOSED CIRCUIT TELEVISION, INTERNET, AND ANY OTHER UTILITY REQUIRED FOR THIS PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING FOR ALL CONSTRUCTION, CONNECTION, RELOCATION OR REMOVAL COST AND ANY AND ALL PERMITS AND FEES ASSOCIATED WITH THE CONSTRUCTION, CONNECTION, RELOCATION OR REMOVAL OF ANY UTILITY REQUIRED FOR THIS PROJECT. THE WORK OF THIS PROJECT SHALL INCLUDE INSTALLATION AND COST OF THE PERMANENT METERS (GAS, ELECTRIC, WATER OR ANY OTHER METER REQUIRED BY THE PROJECT) INCLUDING THE COST FOR THE DEPOSIT OF THE METER. CONTRACTOR SHALL INCLUDE THE COST OF A DEPOSIT ON A METER IN HIS BID. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH THE APPROPRIATE UTILITY COMPANY FOR THE CONSTRUCTION, CONNECTION, RELOCATION AND REMOVAL OF ANY ELECTRIC POWER POLES, WATER LINES, SEWER LINES, DRAINAGE LINES, GAS LINES, TELEPHONE POLES, UTILITY POLES, TELEPHONE LINES, CABLE TELEVISION LINES, INTERNET LINES AND ANY OTHER UTILITY REQUIRED FOR THIS PROJECT.

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE DIRECTLY WITH THE APPROPRIATE UTILITY COMPANIES TO HAVE THE UTILITIES RELOCATED, DISRUPTED AND/OR INSTALLED.
- CONTRACTOR SHALL ADEQUATELY BRACE UTILITY POLES ADJACENT TO THE WORK. BRACING SHALL REMAIN IN PLACE AFTER BACKFILLING UNTIL COMPACTION STANDARDS HAVE BEEN MET. COMPLETE WORK PROMPTLY ONCE EXCAVATION HAS BEGUN ADJACENT TO THE POLES.
- CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES OR DEPARTMENTS LISTED BELOW PRIOR TO COMMENCEMENT OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE IF THERE ARE ANY OTHER UTILITIES IN THE AREA AND TO CONTACT THE APPROPRIATE UTILITY COMPANY:
 - LOUISIANA ONE CALL
 - LOCAL ELECTRICAL COMPANY
 - LOCAL GAS COMPANY
 - LOCAL TELEPHONE COMPANY
 - LOCAL WATER DEPARTMENT
 - LOCAL DRAINAGE DEPARTMENT
 - LOCAL SEWER DEPART
 - CABLE TELEVISION PROVIDER FOR THAT LOCATION
 - DEPARTMENT OF PUBLIC WORKS
 - PARISH AND OR CITY ENGINEERING DEPARTMENT
 - PARISH AND OR RECREATION DEPARTMENT
 - DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT
 - ANY OTHER DEPARTMENT OR UTILITY COMPANY THAT WILL BE ASSOCIATED WITH THIS PROJECT.
- CONTRACTOR SHALL COORDINATE AND PAY FOR THE DE-ENERGIZING AND RE-ENERGIZING OF POWER LINES FOR CONSTRUCTION PURPOSES AS REQUIRED BY LOCAL, STATE AND FEDERAL AGENCIES AND THE LOCAL UTILITY COMPANY.

35. CONTRACTOR SHALL NOTIFY THOSE AFFECTED BY CONSTRUCTION FORTY-EIGHT (48) HOURS PRIOR TO DISRUPTION OF UTILITY SERVICE. UTILITY SERVICES SHALL BE PROMPTLY REPAIRED AND NOT REMAIN OUT OF SERVICE OVERNIGHT.

36. CONTRACTOR SHALL GIVE AFFECTED UTILITY COMPANY ADVANCE AND ADEQUATE NOTICE (THREE DAYS MINIMUM) PRIOR TO COMMENCEMENT OF DEMOLITION OR CONSTRUCTION.

37. CONTRACTOR IS REQUIRED TO GIVE THE OWNER SEVENTY-TWO (72) HOURS ADVANCED WRITTEN NOTICE FOR ANY REQUIRED SHUTDOWNS.

38. EXISTING UTILITY LOCATIONS SHALL BE FIELD VERIFIED. CONTRACTOR SHALL MAKE PROVISIONS TO PROTECT EXISTING UTILITIES SO AS NOT TO DAMAGE OR DISRUPT THESE UTILITIES. CONTRACTOR SHALL VERIFY LOCATION OF UTILITIES PRIOR TO STARTING WORK.

39. PROPERTY LINE, RIGHTS OF WAY, AND OR SERVITUDES ARE THE LIMITS OF CONSTRUCTION, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

40. ALL ROOFING COMPONENTS SHALL COMPLY WITH SPECIFIED PRESSURES AND WIND LOADING REQUIREMENTS INDICATED BY THE CURRENT EDITION OF THE IBC AND ASCE 7.

41. CONTRACTOR SHALL PROTECT ADJACENT PROPERTY AND IMPROVEMENTS FROM DAMAGE AND SHALL REPLACE ANY PORTIONS DAMAGED THROUGH HIS OPERATION AT HIS OWN COST. ALL REPAIR WORK SHALL BE SUBJECT TO APPROVAL OF THE A/E.

42. ALL AREAS AFFECTED BY CONSTRUCTION SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE.

43. ALL GRASS AREAS AFFECTED BY CONSTRUCTION SHALL BE SEEDED, FERTILIZED, AND WATERED AS SPECIFIED IN THE PROJECT MANUAL.

44. CONTRACTOR SHALL PROVIDE TEMPORARY PEDESTRIAN ACCESS IF CONSTRUCTION BARRICADES ARE BLOCKING THE EXISTING SIDEWALK OR ENTRANCES TO THE BUILDINGS.

45. PROTECT ALL EXISTING TREES, PLANTINGS, AND LAWN FROM DAMAGE. ALL STREET SIGNS, FENCES, SHRUBBERY ETC., RELOCATED DURING CONSTRUCTION SHALL BE RETURNED TO THEIR ORIGINAL LOCATION AND IN ORIGINAL CONDITIONS.

46. THE CONTRACTOR IS RESPONSIBLE FOR COMPLETELY SEALING THE ROOF ASSEMBLY OF THE BUILDING. THE CONTRACTOR SHALL SEAL ALL AROUND ANY AND ALL ROOF PENETRATIONS, CUT OUTS, JOINTS, ETC. AT THE PERIMETER OF EXTERIOR WALL SO THAT NO MOISTURE CAN PENETRATE THE BUILDING. IT IS IMPERATIVE THAT THE BUILDING IS SEALED TO AVOID CONDENSATION ON THE INTERIOR OF THE BUILDING.

47. IN ACCORDANCE WITH REQUIREMENTS OF THE LOUISIANA STATE FIRE MARSHAL ALL BLOCKING, EITHER HIDDEN, CONCEALED OR EXPOSED TO VIEW BLOCKING SHALL BE FIRE RETARDANT WOOD.

48. CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY ROOF ACCESSORIES (BOOTS, FLASHINGS, CRICKETS, ETC.) FOR ALL ROOF PENETRATIONS TO PROVIDE POSITIVE DRAINAGE.

49. SAFETY PRECAUTIONS AND PROGRAMS

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISION ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH PERFORMANCE OF THE CONTRACT.
- THE CONTRACTOR SHALL COMPLY WITH APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF PUBLIC AUTHORITIES BEARING ON SAFETY OF PERSONS OR PROPERTY OR THEIR PROTECTION FROM DAMAGE, INJURY OR LOSS.
- THE CONTRACTOR SHALL TAKE PRECAUTIONS FOR SAFETY OF, AND SHALL PROVIDE PROTECTION TO PREVENT DAMAGE, INJURY OR LOSS TO EMPLOYEES ON THE WORK AND OTHER PERSONS WHO MAY BE AFFECTED.

52. COMPLY WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS. INSPECT MATERIALS OR EQUIPMENT IMMEDIATELY UPON DELIVERY AND AGAIN PRIOR TO INSTALLATION. REJECT DAMAGED AND DEFECTIVE ITEMS.

53. IN ACCORDANCE WITH LOUISIANA STATE LAW (LSA-R. 5 9:2774) THE COMMENCEMENT DATE FOR ALL WARRANTIES OR GUARANTEES OF EVERY NATURE OR KIND SHALL BE THE DATE OF SUBSTANTIAL COMPLETION AS CERTIFIED BY THE ARCHITECT OR ENGINEER. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE THAT ALL WRITTEN WARRANTIES INCLUDE THIS COMMENCEMENT TIME. ALSO, IN ACCORDANCE WITH LSA-R.S. 9:2774 THE PROVISION OF THIS SECTION SHALL NOT BE SUBJECT TO WAIVER BY CONTRACT.

54. ALL EXPOSED TO VIEW METAL FLASHINGS, DRIP EDGES, METAL EDGES, ETC., SHALL HAVE THE SAME FINISH AS SPECIFIED FOR GUTTERS AND DOWN SPOUTS AND SHALL HAVE THE SAME 20-YEAR WARRANTY UNLESS NOTED OTHERWISE.

55. AFTER FULL EXECUTION OF THE CONTRACT THE CONTRACTOR SHALL FILE ONE ORIGINAL OF THE CONTRACT WITH THE ORLEANS PARISH CLERK OF COURTS.

56. RECORD DRAWINGS SHALL BE SUBMITTED PER THE PROVISIONS DETAILED IN THE PROJECT MANUAL. RECORD DRAWINGS AND SPECIFICATIONS SHALL BE PREPARED BY THE CONTRACTOR THROUGHOUT THE COURSE OF THE PROJECT AND SHALL SHOW, IN RED INK, ALL CHANGES TO THE ORIGINAL CONSTRUCTION DOCUMENTS. AT THE COMPLETION OF THE PROJECT ALL RECORD DRAWINGS AND SPECIFICATIONS SHALL BE FINALIZED AND PUT INTO ONE COMPREHENSIVE SET OF DOCUMENTS BY THE CONTRACTOR AND DELIVERED TO THE A/E AS THE RECORD SET OF DRAWINGS AND SPECIFICATIONS. RECORD DRAWINGS AND SPECIFICATIONS SHALL REFLECT ALL CHANGES MADE BY THE OWNER, CONTRACTOR, A/E, SUBCONTRACTOR OR ANY OTHER ENTITY INVOLVED WITH THE PROJECT. ALL RECORD DRAWINGS AND SPECIFICATIONS SHALL INCLUDE ANY CHANGE MADE BY ADDENDUM, CHANGE ORDER, CONSTRUCTION CHANGE DIRECTIVE, MINOR CHANGES MADE BY THE A/E BY WAY OF ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS OR WRITTEN LETTER OR ANY CHANGE MADE IN THE FIELD BY THE CONTRACTOR, SUBCONTRACTOR, INSTALLER, SUPPLIER OR ANY OTHER ENTITY INVOLVED WITH THE PROJECT.

57. THE CONTRACTOR IS ADVISED THAT REPRODUCTION, BY ANY METHOD, OF THE ARCHITECT'S DRAWINGS TO FOR THE PURPOSE OF SHOP DRAWINGS, PRODUCT DATA, OR ANY OTHER TYPE OF SUBMITTAL SHALL NOT BE PERMITTED. THE CONTRACTOR IS REQUIRED TO PRODUCE ORIGINAL SHOP DRAWINGS, PREPARED BY HIS OFFICE, HIS SUBCONTRACTORS, PRODUCT SUPPLIERS, ETC.

58. ALTHOUGH THE DRAWINGS ARE DRAWN TO A SCALE, THE CONTRACTOR SHALL NOT SCALE DRAWINGS TO DETERMINE A DIMENSION. THESE DOCUMENTS HAVE BEEN PREPARED FROM LIMITED FIELD OBSERVATIONS AND INFORMATION PROVIDED BY THE OWNER. CONTRACTOR SHALL VERIFY ALL EXISTING FILED CONDITIONS PRIOR TO SUBMITTING A BID. IF A DIMENSION IS NOT WRITTEN AND IS NOT APPARENT, THE CONTRACTOR SHALL NOTIFY THE A/E DURING THE BIDDING PHASE. FAILURE TO VERIFY THE EXISTING CONDITIONS ARE NOT GROUNDS FOR ADDITIONAL COST TO THE CONTRACTOR.

59. NO EXISTING ROOFING CAN BE REMOVED UNLESS IT CAN BE COVERED AND PROTECTED DURING THE SAME WORKDAY. THE CONTRACTOR IS TO TAKE ALL PRECAUTIONS TO KEEP THE BUILDING DRY AT ALL TIMES DURING THE COURSE OF THE WORK.

60. ALL GRASS AREAS AFFECTED BY CONSTRUCTION SHALL BE SEEDED AND FERTILIZED. WATER AREAS IMMEDIATELY.

61. THE INFORMATION CONTAINED ON THESE DRAWINGS WITH REGARD TO THE EXISTING CONDITIONS OF CONSTRUCTION IN NO WAY RELEASES THE GENERAL CONTRACTOR FROM THE RESPONSIBILITY FOR VERIFYING COMPLETELY ALL FIELD CONDITIONS RELATING TO AND AFFECTING THE EXECUTION OF THE WORK, AS DESCRIBED IN THESE CONTRACT DOCUMENTS.

62. THE CONTRACTOR IS TO BE AWARE THAT THE BUILDING WILL BE OCCUPIED THROUGHOUT THE CONSTRUCTION PROCESS AND SHALL TAKE ALL NECESSARY STEPS TO KEEP THE BUILDING AND SITE CLEAN AND WATERTIGHT. THE CONTRACTOR WILL BE RESPONSIBLE FOR CLEANING AND REPAIRING ANY DAMAGED WORK DUE TO STORM WATER INTRUSION OF AREAS WITHIN THE SCOPE OF THIS PROJECT.

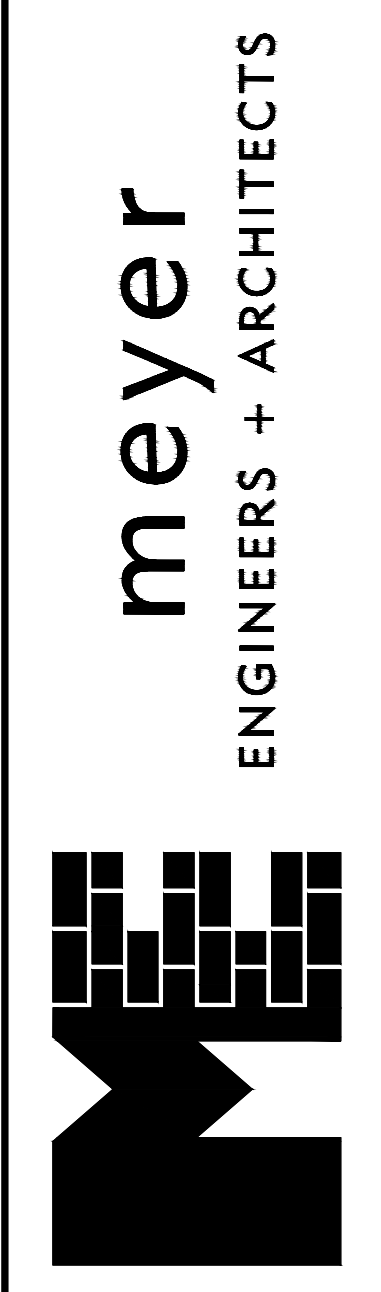
63. ALL ROOF-RELATED ADHESIVES MUST BE MANUFACTURED AND SUPPLIED BY THE APPROVED ROOF MEMBRANE MANUFACTURER. ANY PRODUCTS NOT MANUFACTURED, BUT APPROVED FOR USE BY ROOF MEMBRANE MANUFACTURER, MUST HAVE A LETTER OF CERTIFICATION FROM THE ROOF MEMBRANE MANUFACTURER. ANY PRODUCTS FOUND ON-SITE THAT HAVE NOT BEEN SUBMITTED FOR PRIOR APPROVAL WILL BE REJECTED AND REMOVED FROM THE CONSTRUCTION SITE.

64. REPAIRS TO THE EXISTING MASONRY VENEER IS NOT WITHIN THE SCOPE OF WORK FOR THIS PROJECT. ALL WORK AT EXISTING BRICK VENEER IS DIRECTED ONLY TO THE PATCHING AND REPAIRING THE VENEER TO ACCOMMODATE NEW ROOF CONSTRUCTION.

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 drawn KJK
 checked AFR
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 revised



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GENERAL NOTES
 LAKE VISTA CC ROOF REPLACEMENT
 6500 SPANISH FORT BLVD, NEW ORLEANS, LA 70124
 LAKEFRONT MANAGEMENT AUTHORITY

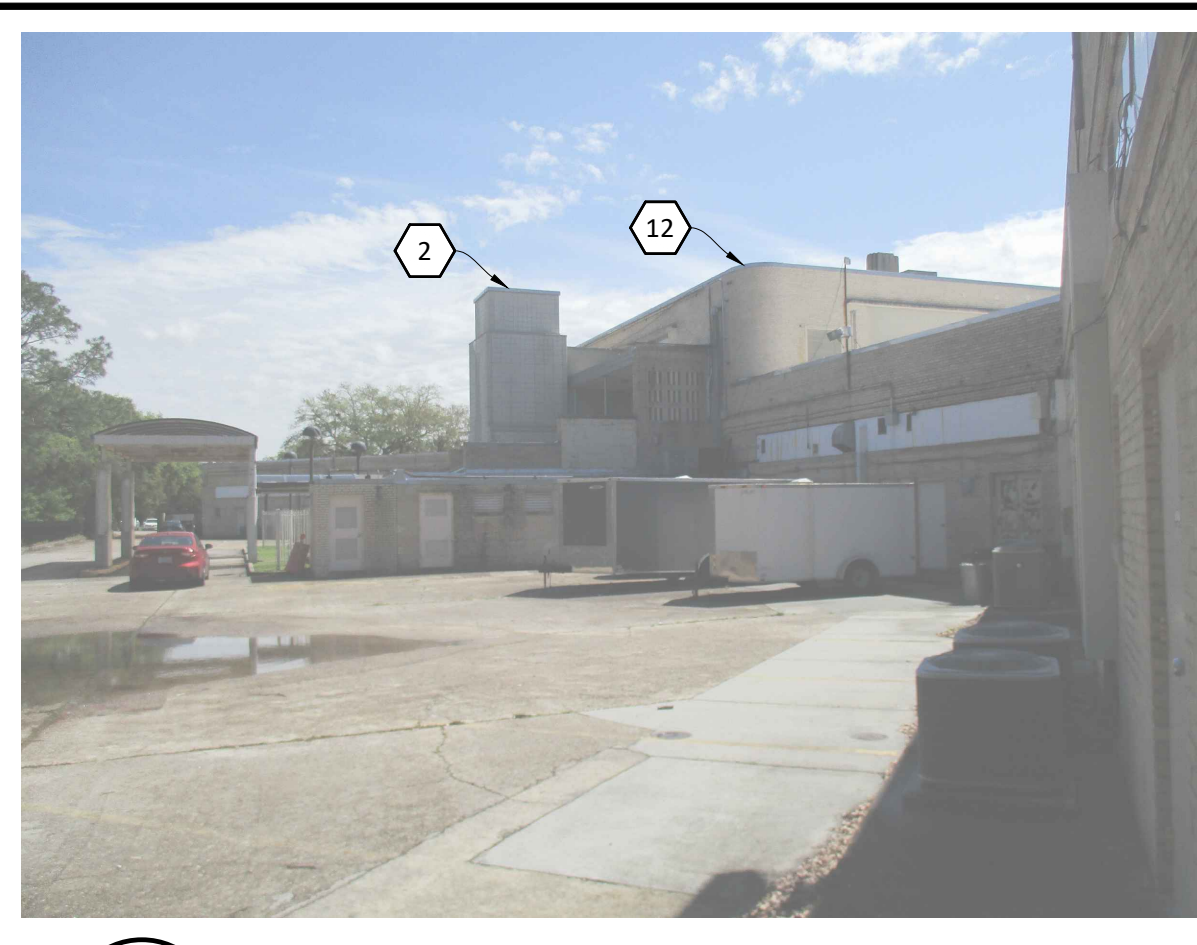
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DISCLAIMER: THE OFFICIAL AND LEGAL RECOGNIZED SET OF BIDDING AND CONSTRUCTION DOCUMENTS SHALL BE THE SET OF DOCUMENTS THAT ARE ON FILE IN THE ENGINEER/ARCHITECT'S OFFICE LABELED "OFFICE SET".

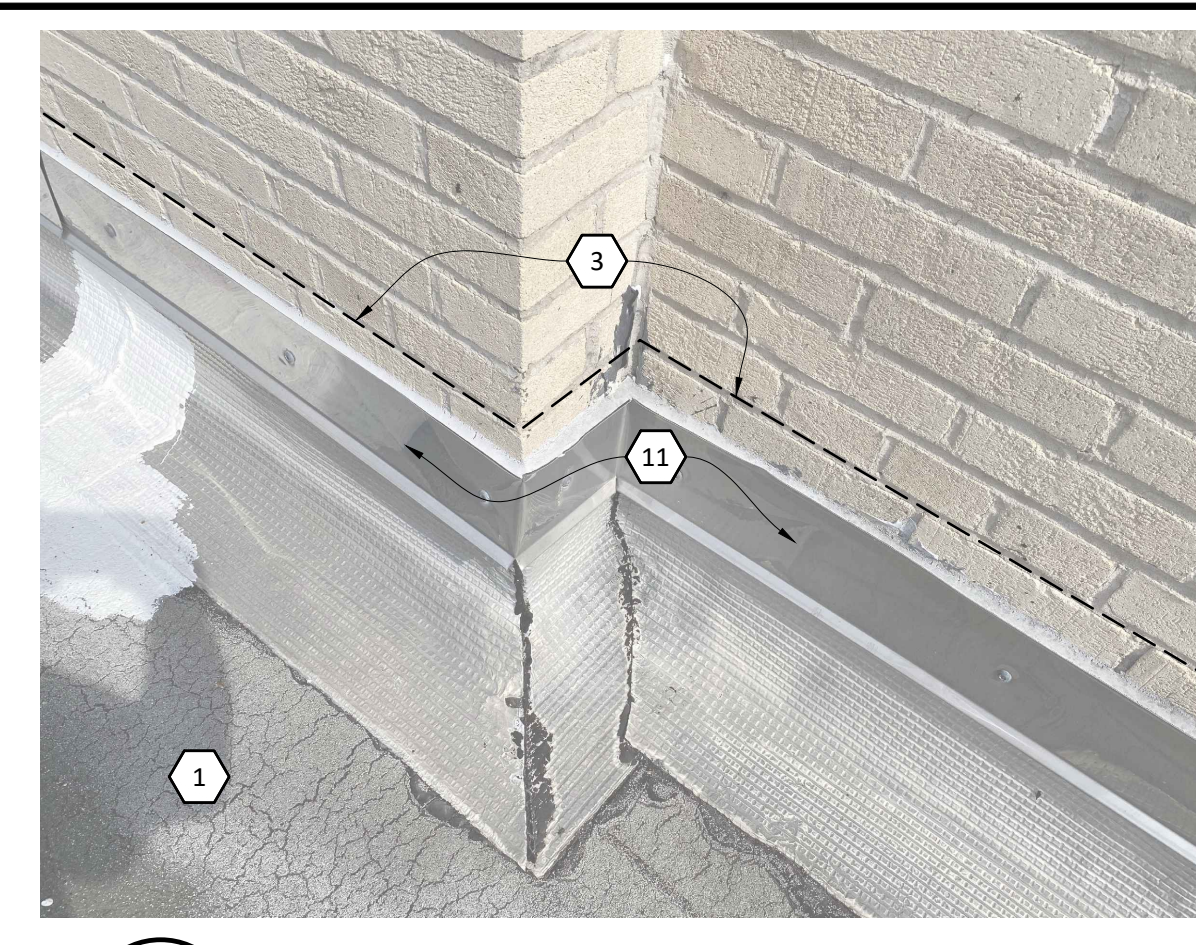
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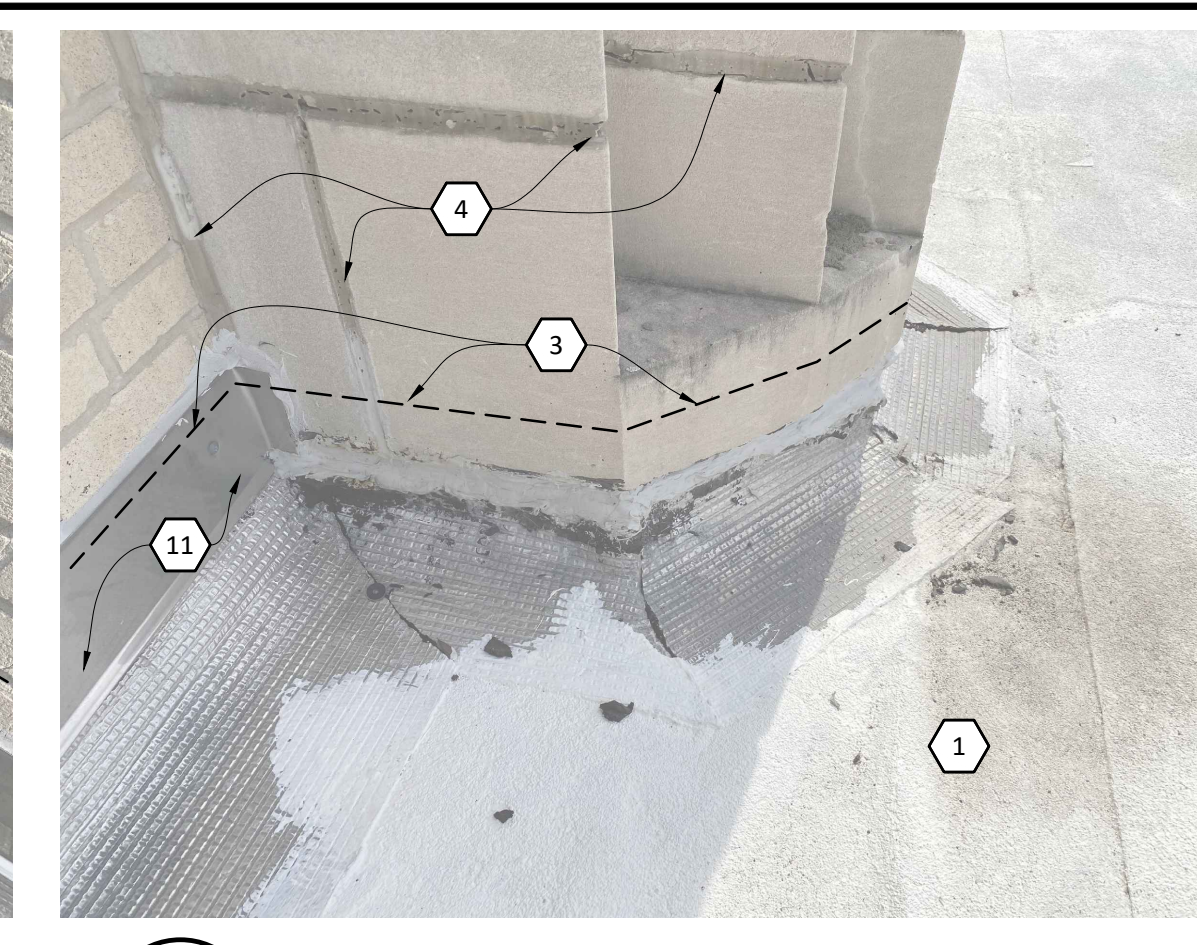
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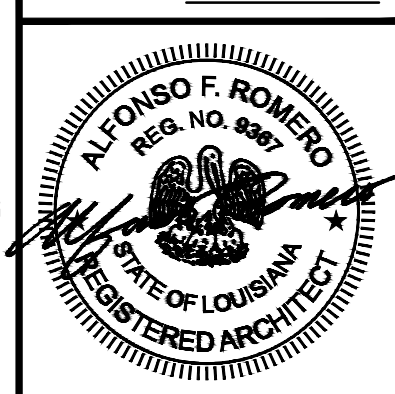
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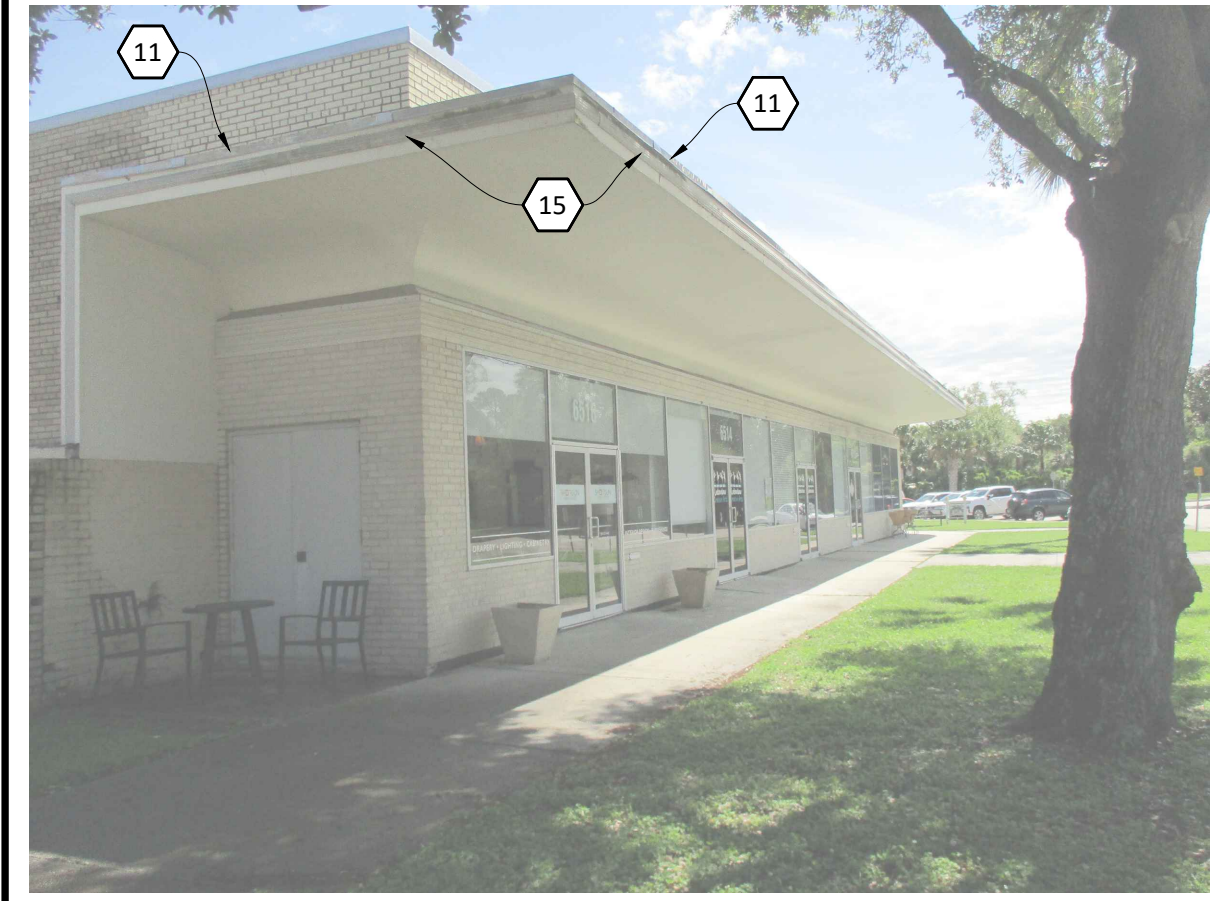
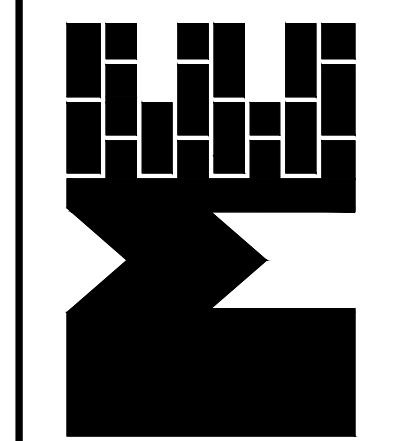
- ### KEYNOTES
- NOTE: ALL KEYNOTES ARE SPECIFIC TO THIS SHEET
- 1 EXISTING SBS ROOF MEMBRANE SYSTEM ON CORRUGATED METAL DECK. REMOVE SBS AND ASSOCIATED METAL FLASHING AND REPLACE WITH NEW TPO SYSTEM AND NEW STAINLESS STEEL FLASHING AND COUNTER FLASHING.
 - 2 REMOVE EXISTING SBS ROOF SYSTEM ATOP ELEVATOR HOISTWAY ENCLOSURE AND REPLACE WITH NEW TPO SYSTEM.
 - 3 CUT NEW KERF JOINT FOR NEW STAINLESS STEEL COUNTER FLASHING.
 - 4 REMOVE AND REPLACE EXISTING CAULK AT EXISTING PRE-CAST CONCRETE JOINTS WITH NEW BACKER ROD AND SEALANT AT HORIZONTAL JOINT AND DOWN TO ROOF LEVEL.
 - 5 EXISTING METAL ROOF ACCESS LADDER TO REMAIN.
 - 6 EXISTING SBS ROOF SYSTEM ON CONCRETE DECK AND REPLACE WITH NEW TPO ROOF MEMBRANE SYSTEM. EXISTING STAINLESS STEEL CAP FLASHING TO REMAIN. PROTECT DURING CONSTRUCTION.
 - 7 EXISTING EXHAUST FAN TO REMAIN. REMOVE COPPER ROOF VENT AND REPLACE WITH NEW WEATHER-RESISTANT STAINLESS-STEEL CONSTRUCTION OF SIMILAR SIZE AND MAKE.
 - 8 REMOVE AND REPLACE ALL EXISTING PVC CONDENSATE PIPING WITH LIKE KIND. REMOVE AND DISCARD ALL WOOD BLOCKING AND PROVIDE NEW PIPE SUPPORTS. SEE 7/A600
 - 9 EXISTING PRE-CAST CONCRETE HEADER TO REMAIN. PROTECT DURING CONSTRUCTION.
 - 10 REFER TO WINDOW ENCLOSURE DETAILS ON SHEET A200.
 - 11 REMOVE AND REPLACE EXISTING STAINLESS STEEL FLASHING AS PER CONSTRUCTION DOCUMENTS.
 - 12 EXISTING STAINLESS STEEL CAP FLASHING TO REMAIN. PROTECT DURING CONSTRUCTION.
 - 13 EXISTING ROOF DRAIN TO REMAIN. CLEAN AND PREP AS REQUIRED TO ACCEPT NEW ROOFING ASSEMBLY. REPLACE ALL DAMAGED STRAINERS WITH COMPATIBLE STRAINER AS NEEDED AND SECURE TO HUB.
 - 14 EXISTING PRE-CAST CONCRETE PARAPET WALL CAP TO REMAIN. PROTECT DURING CONSTRUCTION.
 - 15 EXISTING METAL DECORATIVE FASCIA TO REMAIN. PROTECT DURING ALL PHASES OF CONSTRUCTION.
 - 16 EXISTING SCUPPER TO REMAIN. CLEAN AND PREP TO ACCEPT NEW ROOFING ASSEMBLY.
 - 17 EXISTING GAS LINES/CONDUITS. N.I.C.
 - 18 VENT THROUGH ROOF. REMOVE AND REPLACE PROTECTIVE COVER WITH NEW MATERIAL.
 - 19 EXISTING E.I.F.S. TO REMAIN. PATCH AND REPAIR AS REQUIRED TO ACCEPT NEW WORK.
 - 20 PRE-CAST SILL TO REMAIN. PROTECT DURING CONSTRUCTION.

project no. 24-1130-0015
drawn KJK
checked AFR
date 09.17.24
revised



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5 PHOTOGRAPH
A100 | G003 N.T.S.



6 PHOTOGRAPH
A100 | G003 N.T.S.



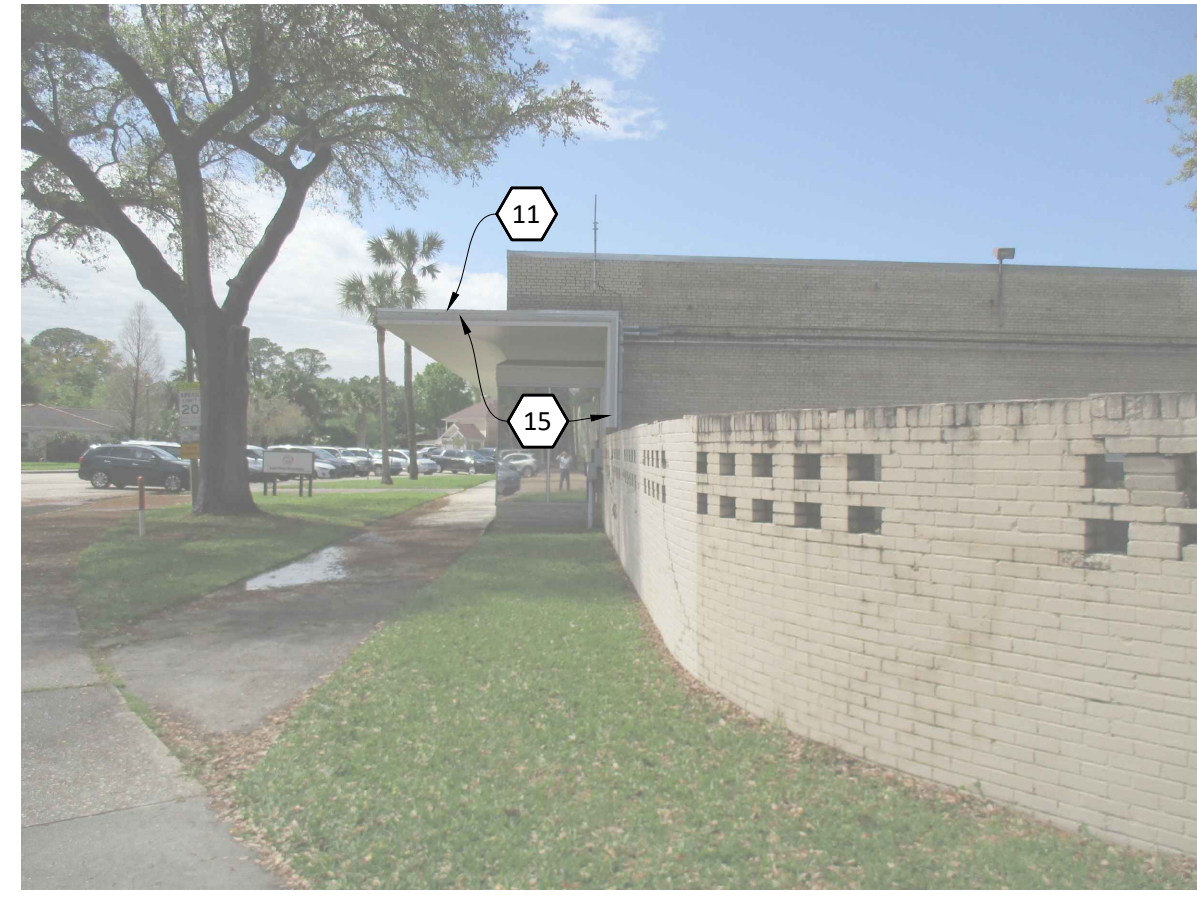
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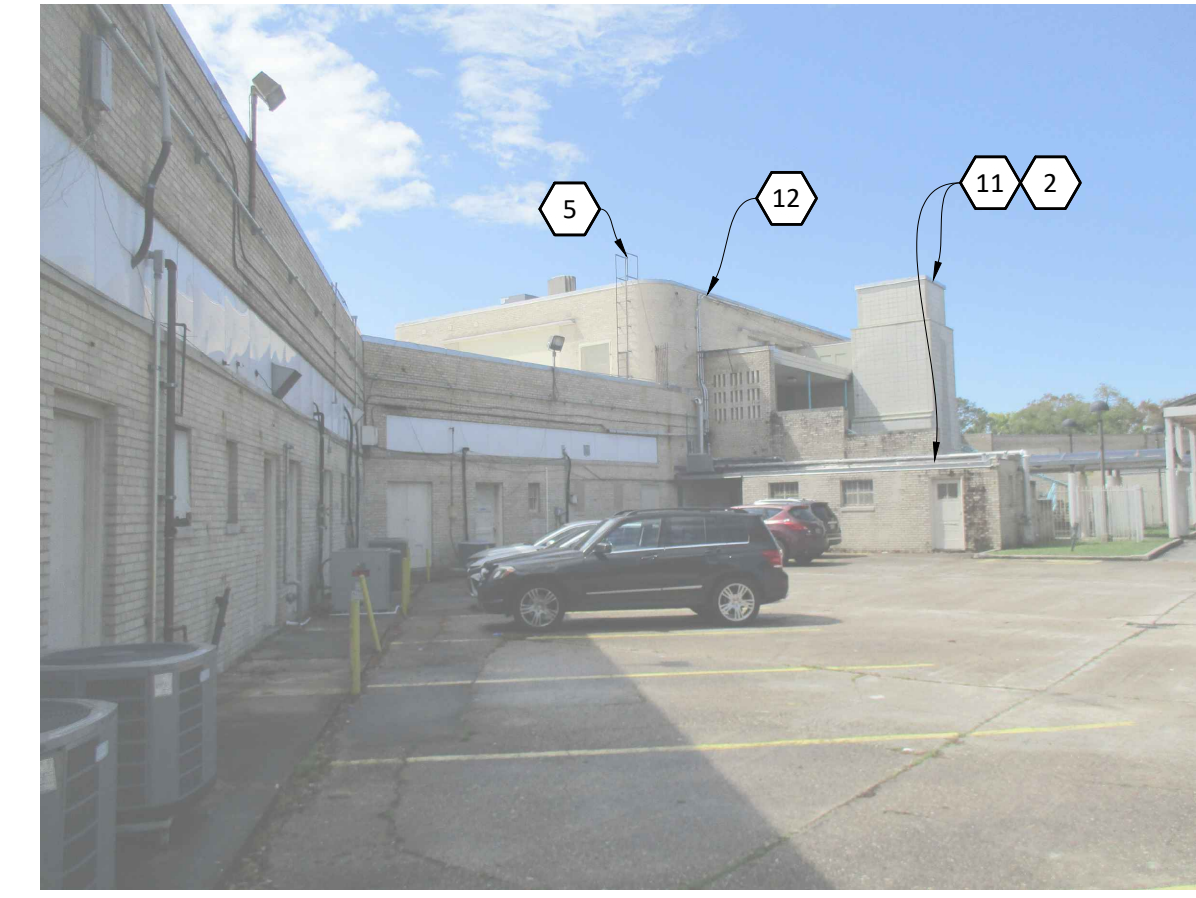
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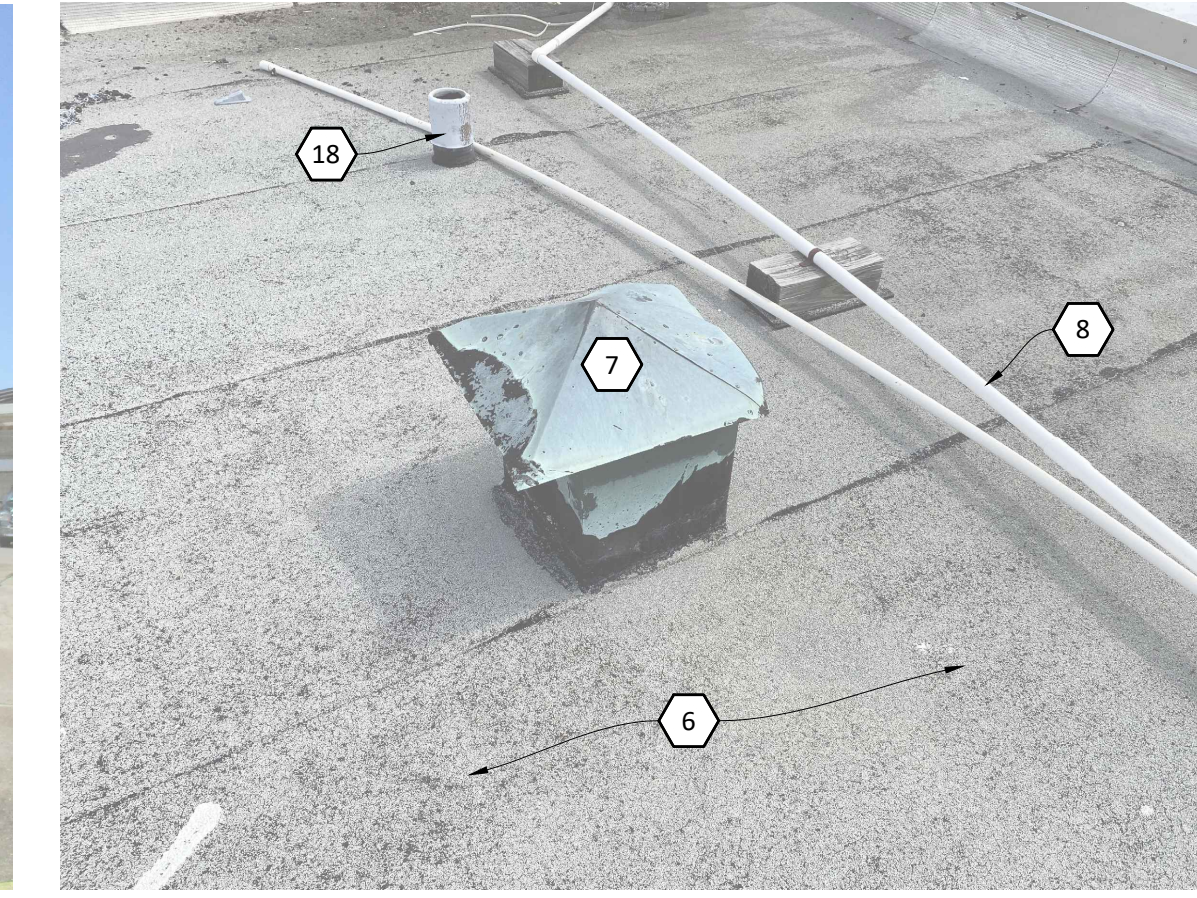
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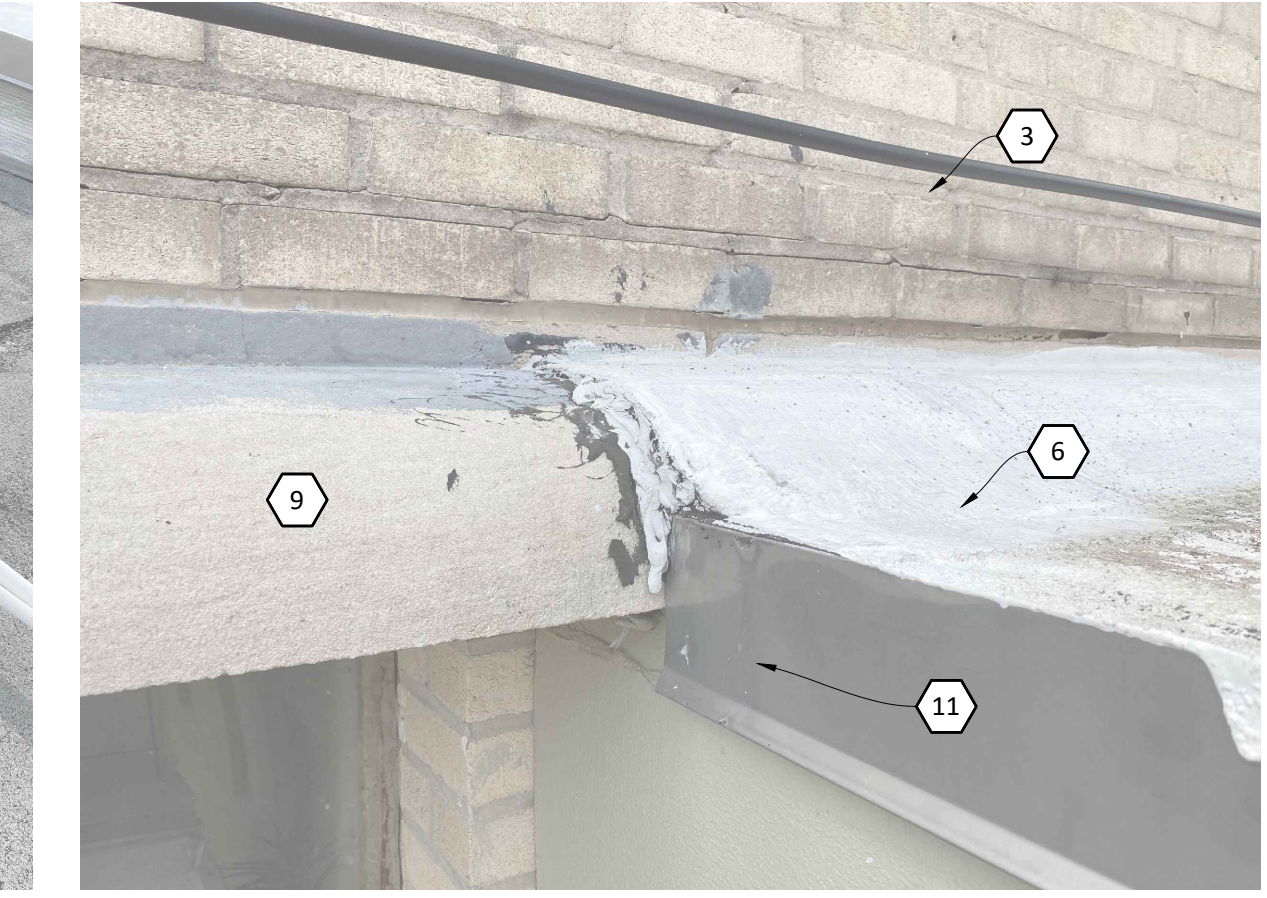
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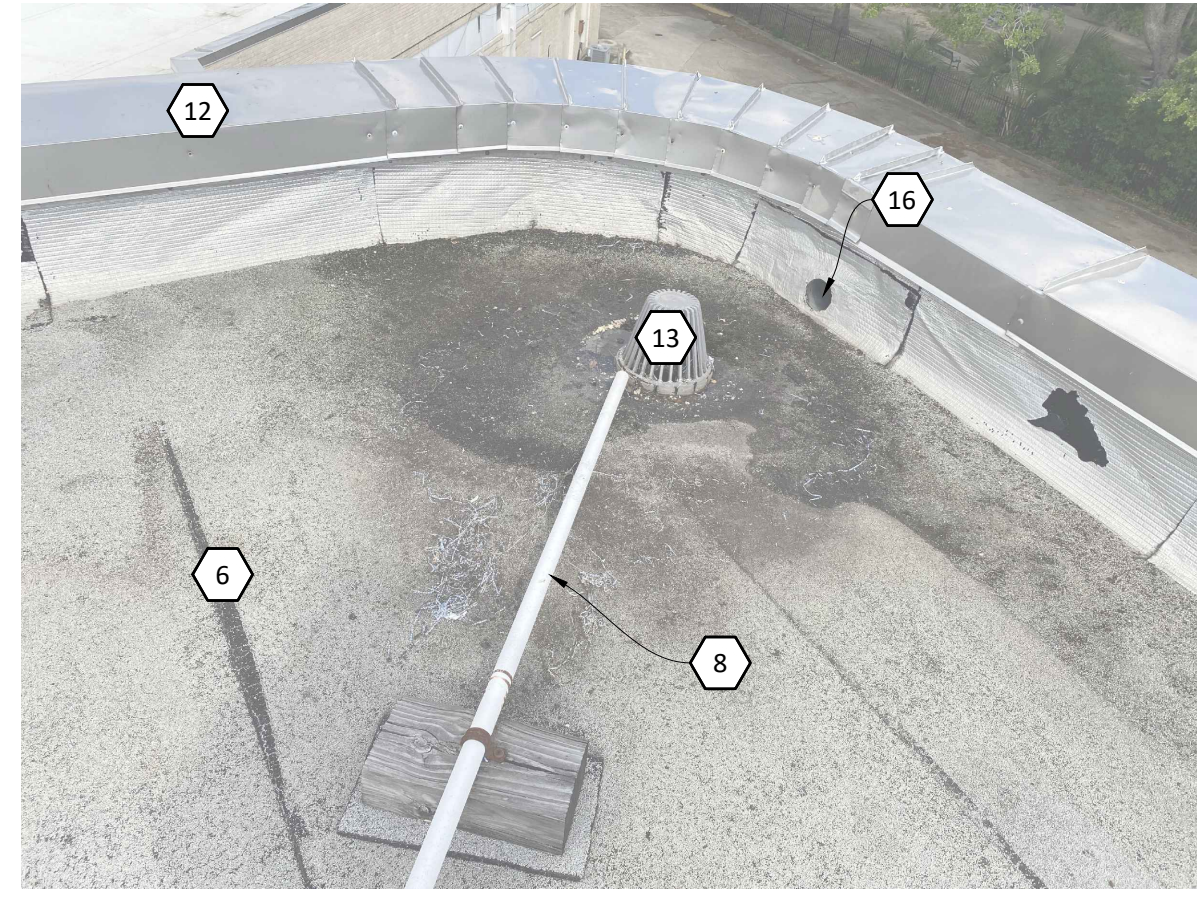
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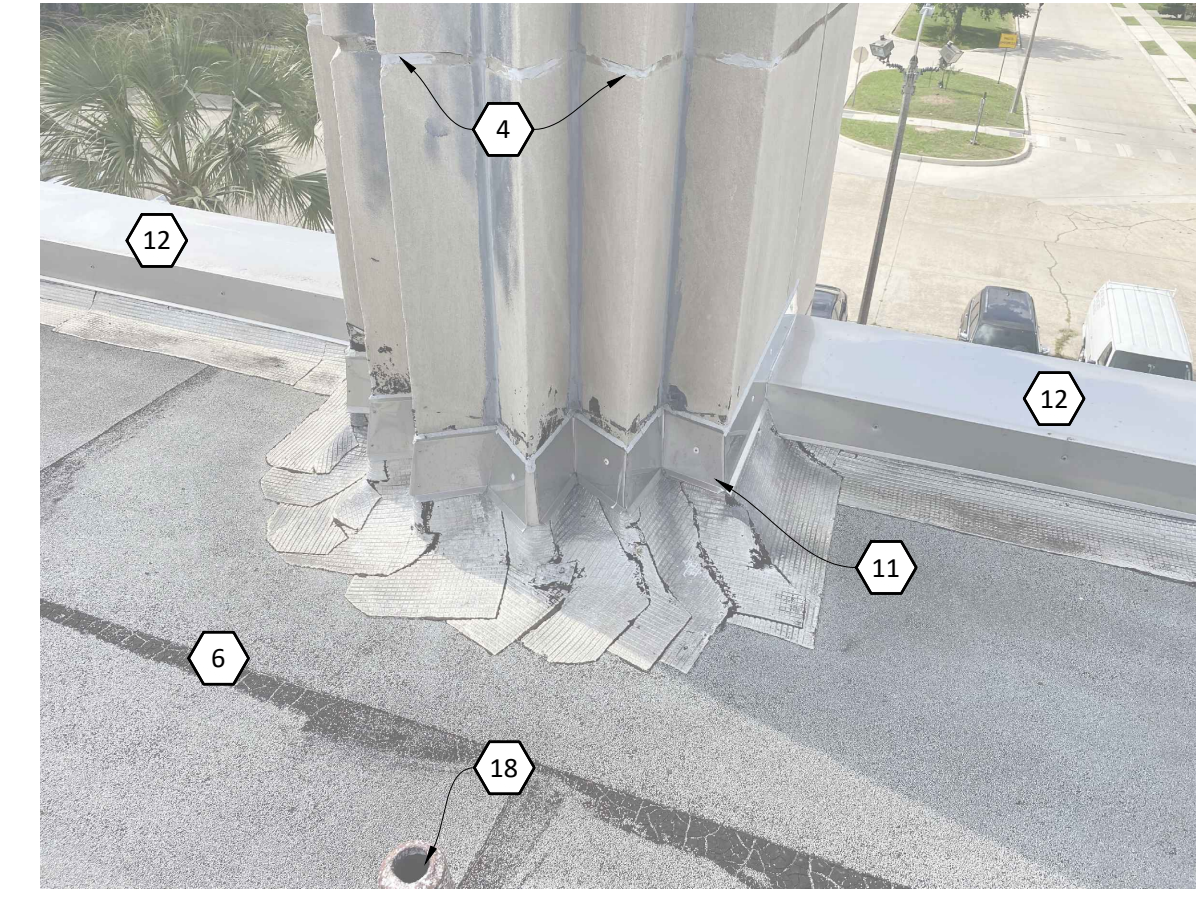
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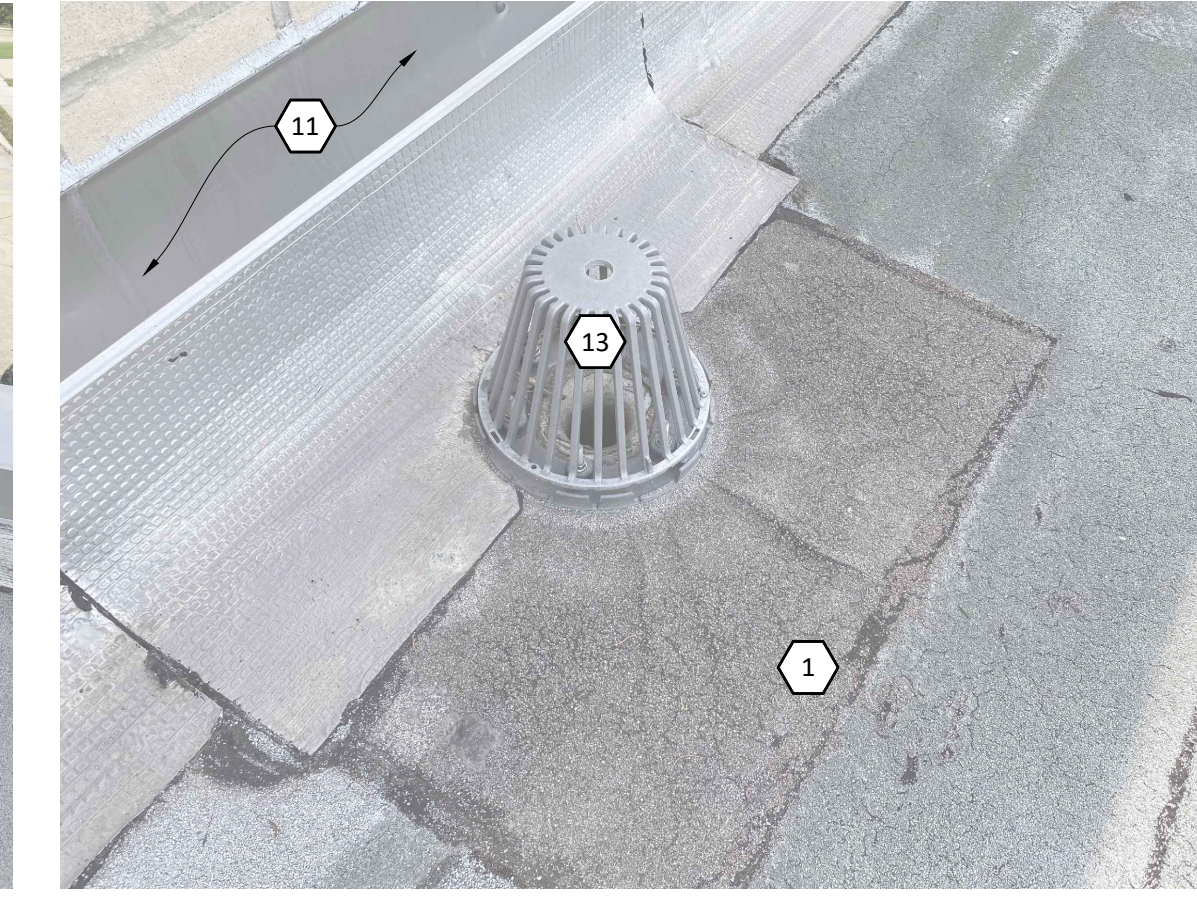
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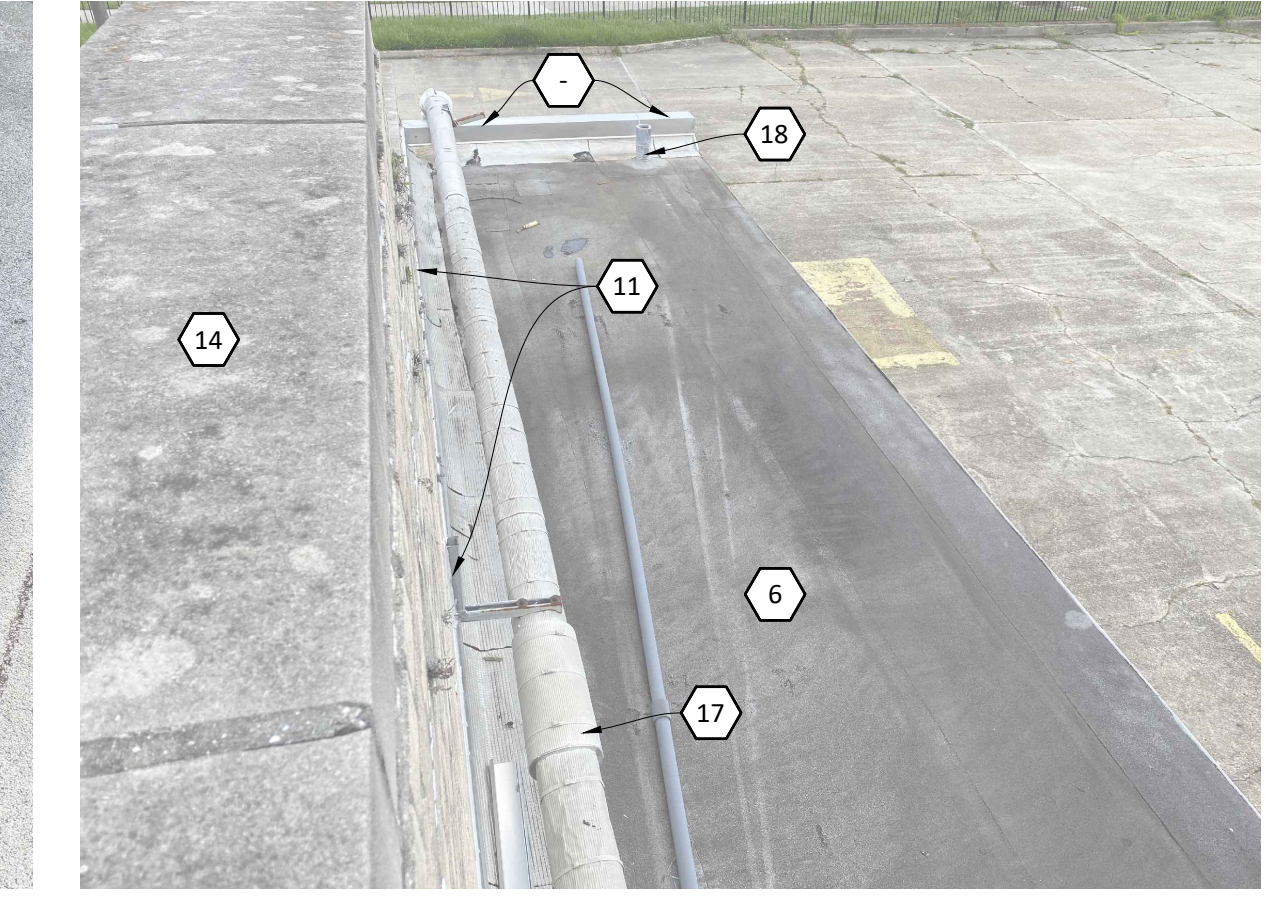
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16 PHOTOGRAPH
A100 | G003 N.T.S.



17 PHOTOGRAPH
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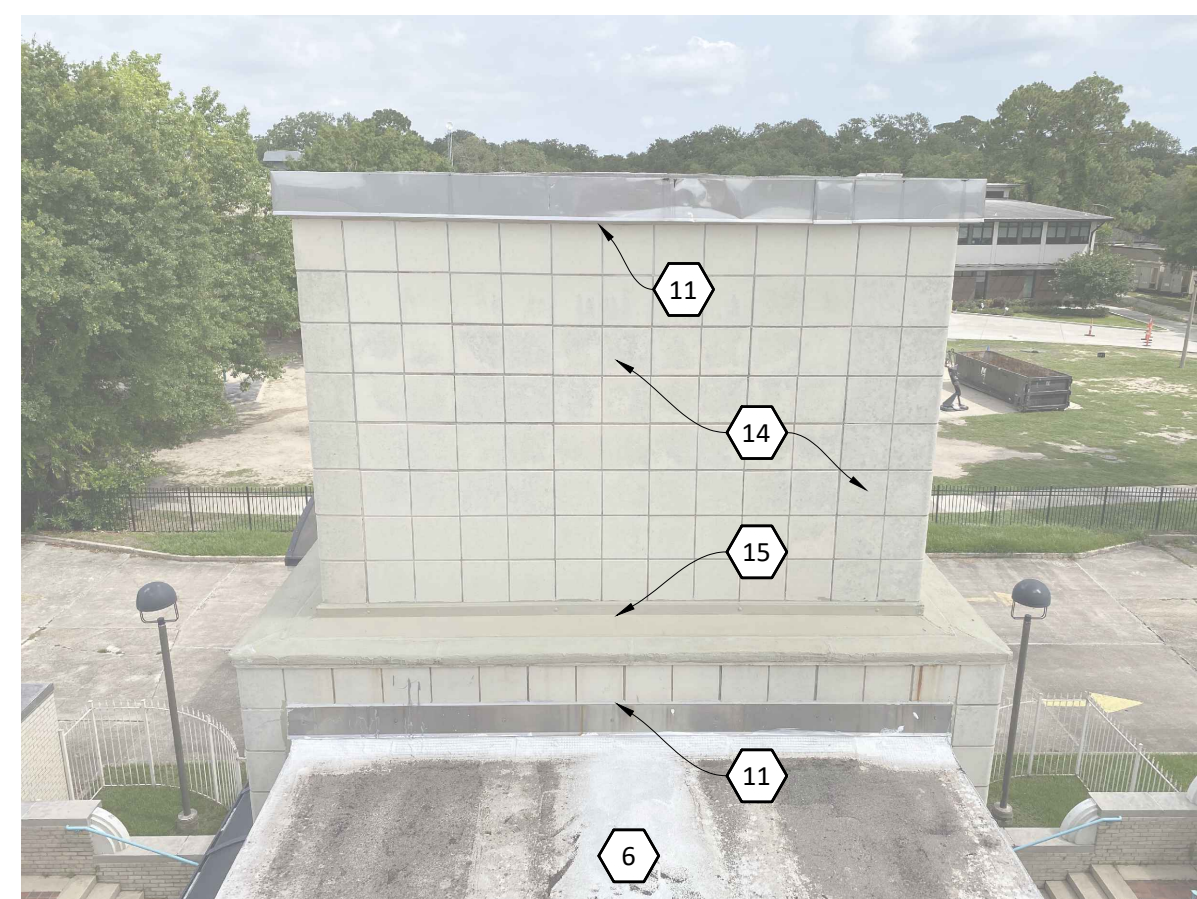
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PHOTOGRAPHS
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6500 SPANISH FORT BLVD, NEW ORLEANS, LA 70124
LAKEFRONT MANAGEMENT AUTHORITY

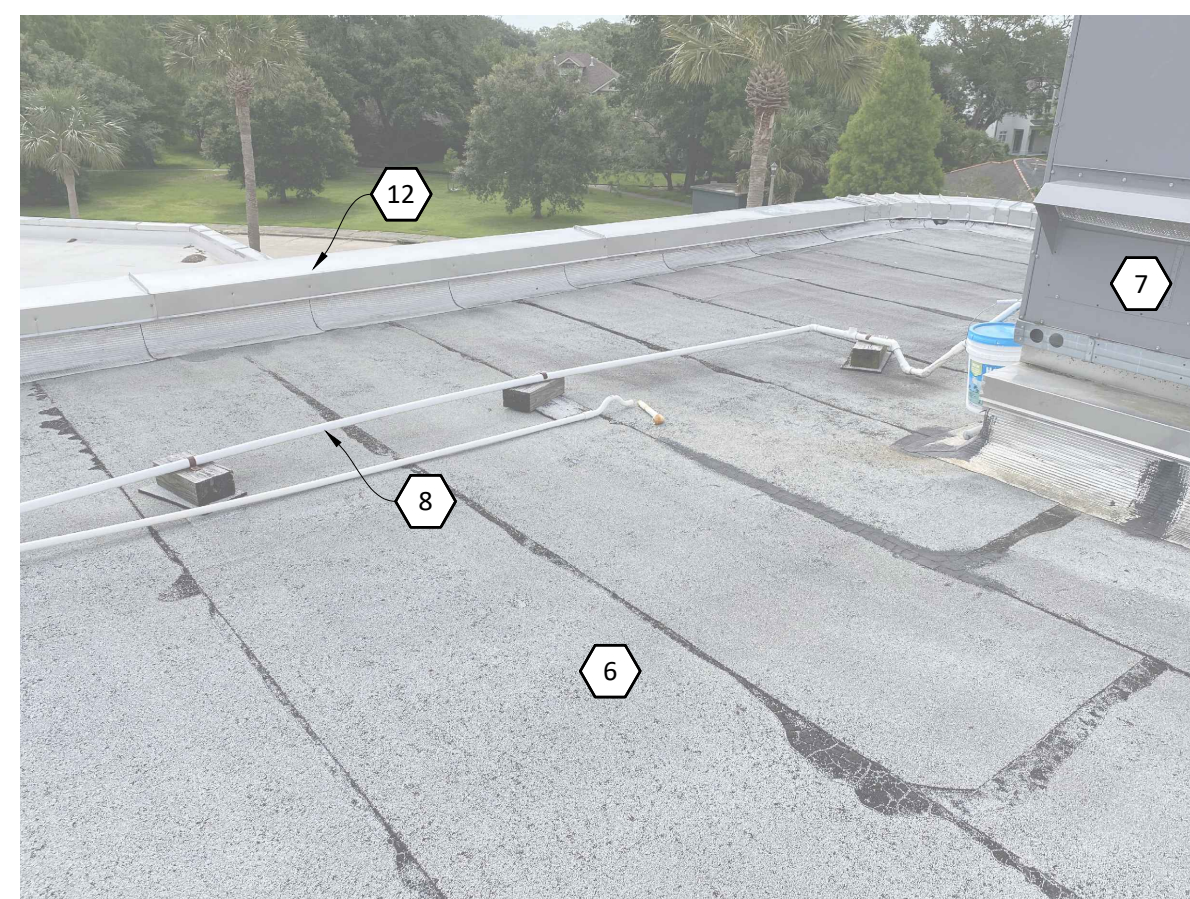
sheet no.
G003
of 8 sheets



1 PHOTOGRAPH
A100 | G004 N.T.S.



2 PHOTOGRAPH
A101 | G004 N.T.S.



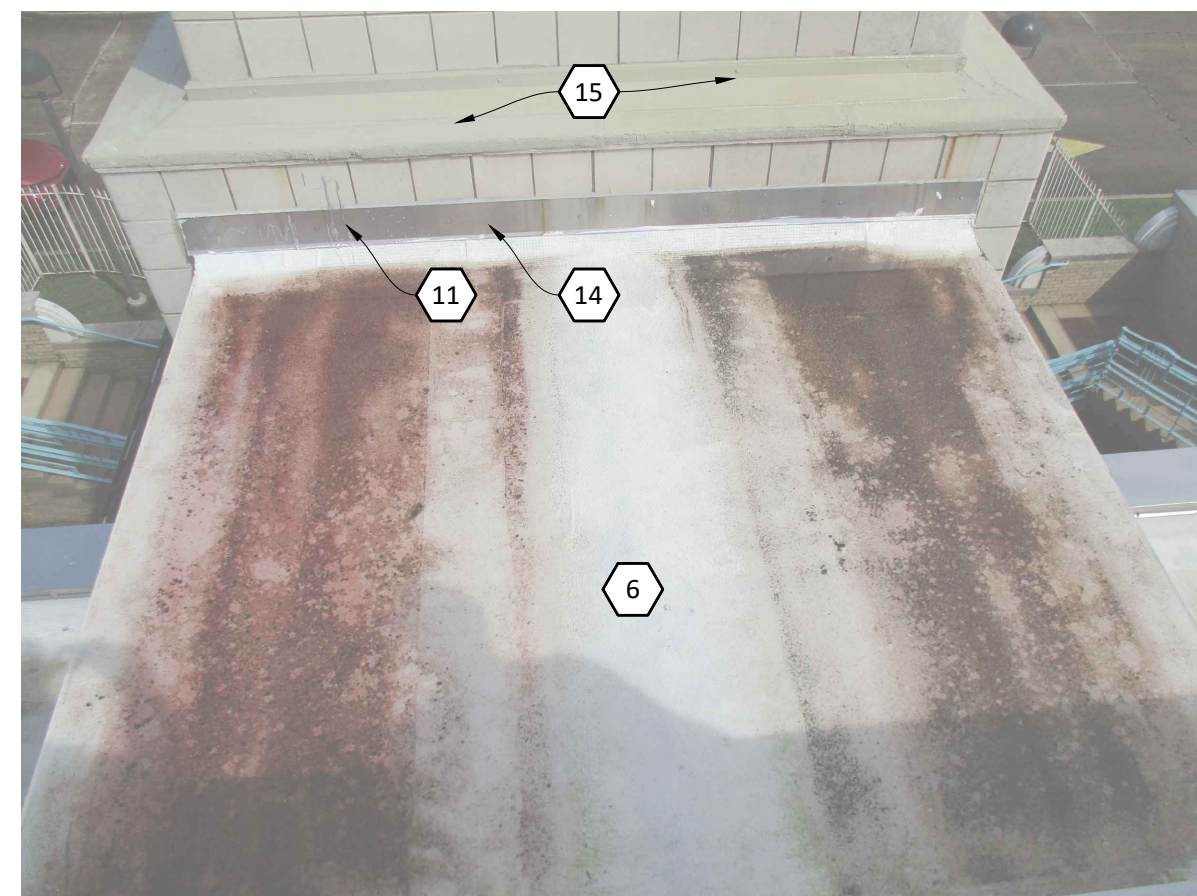
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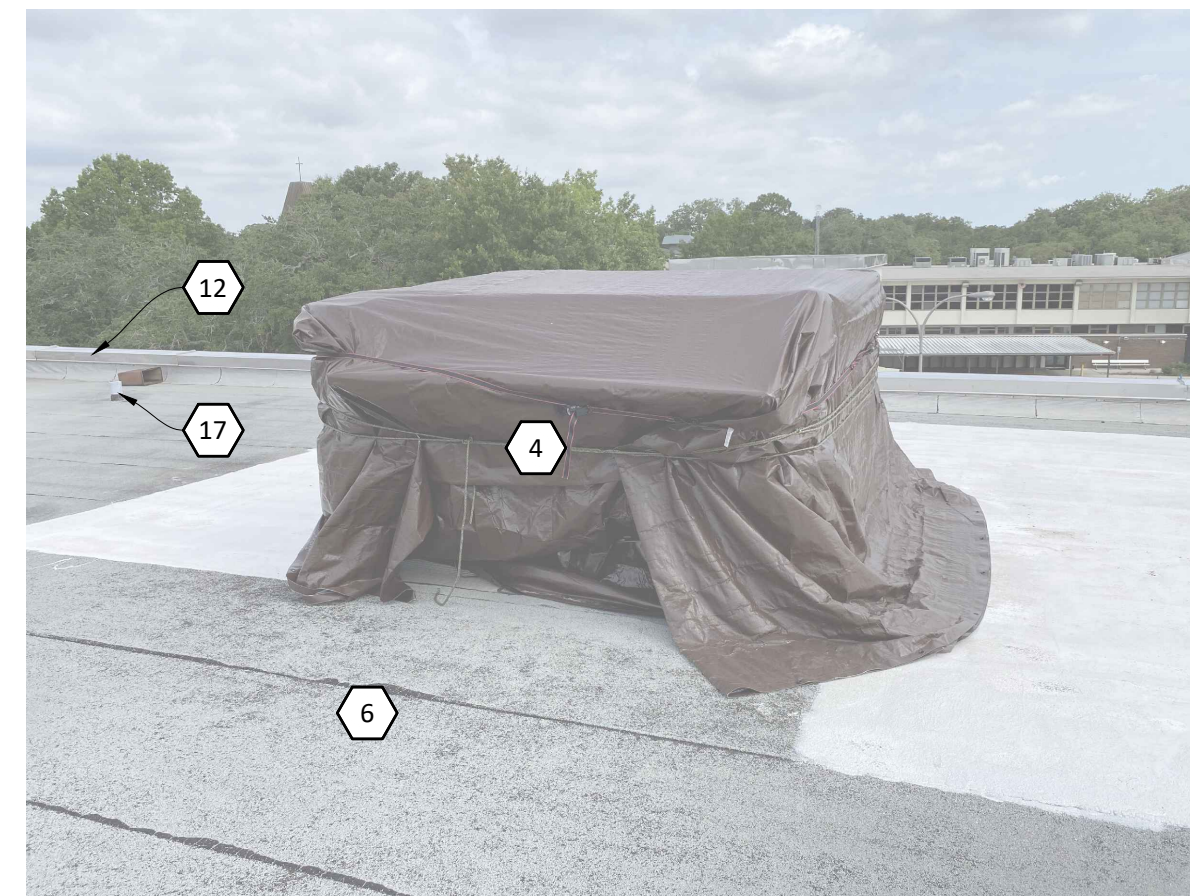
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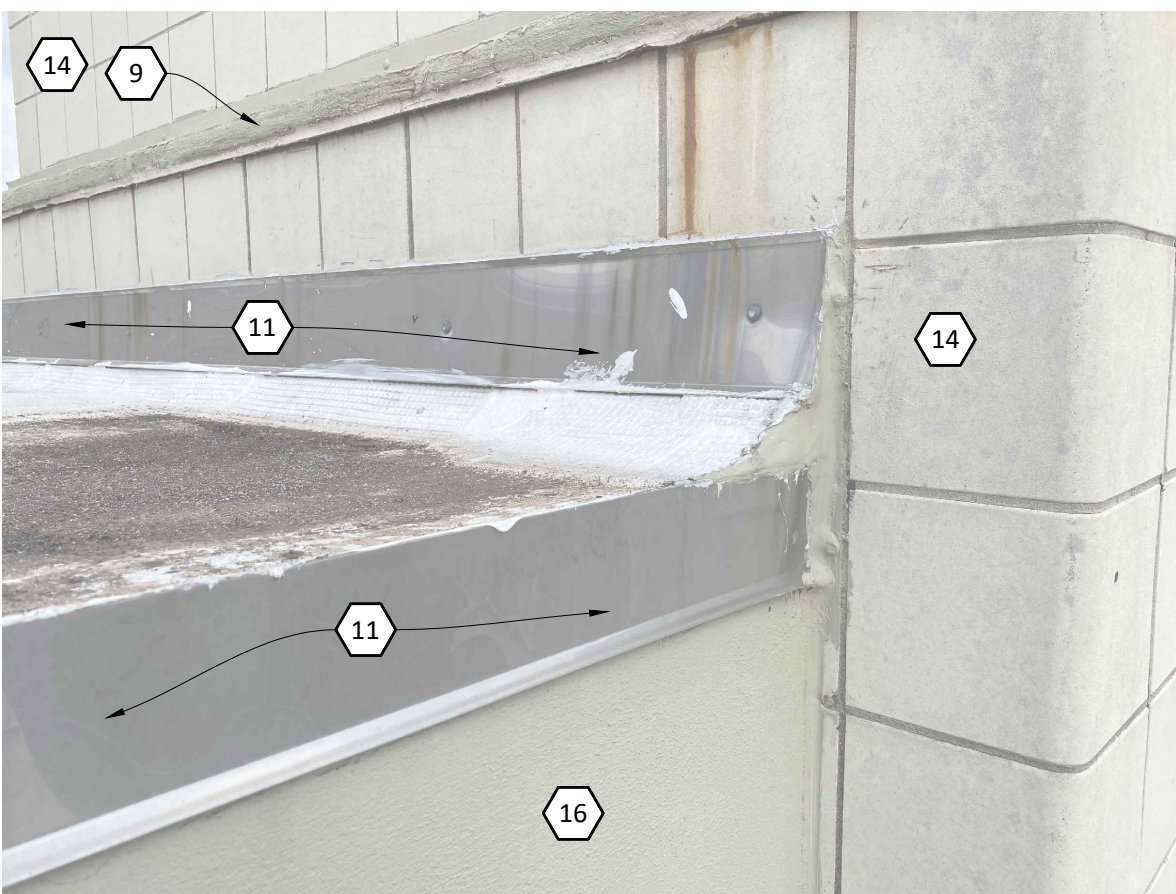
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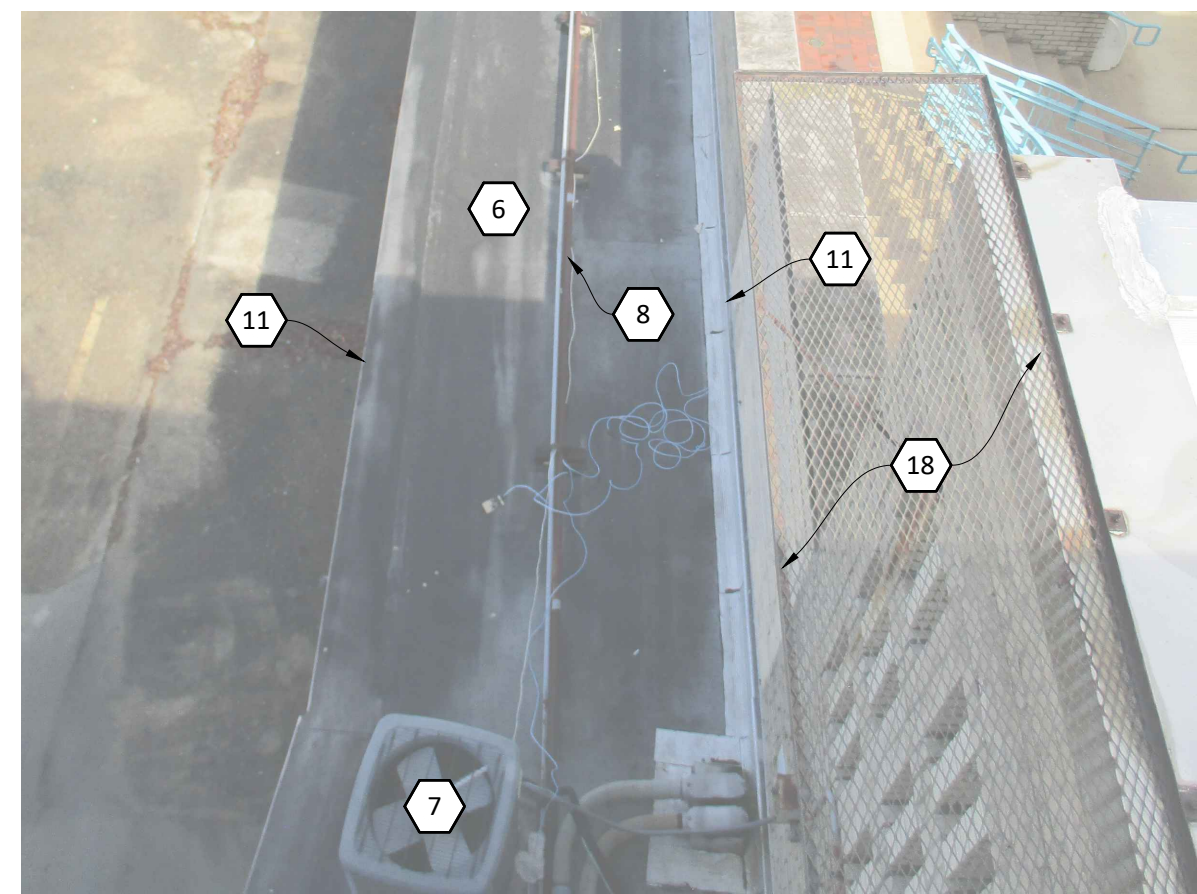
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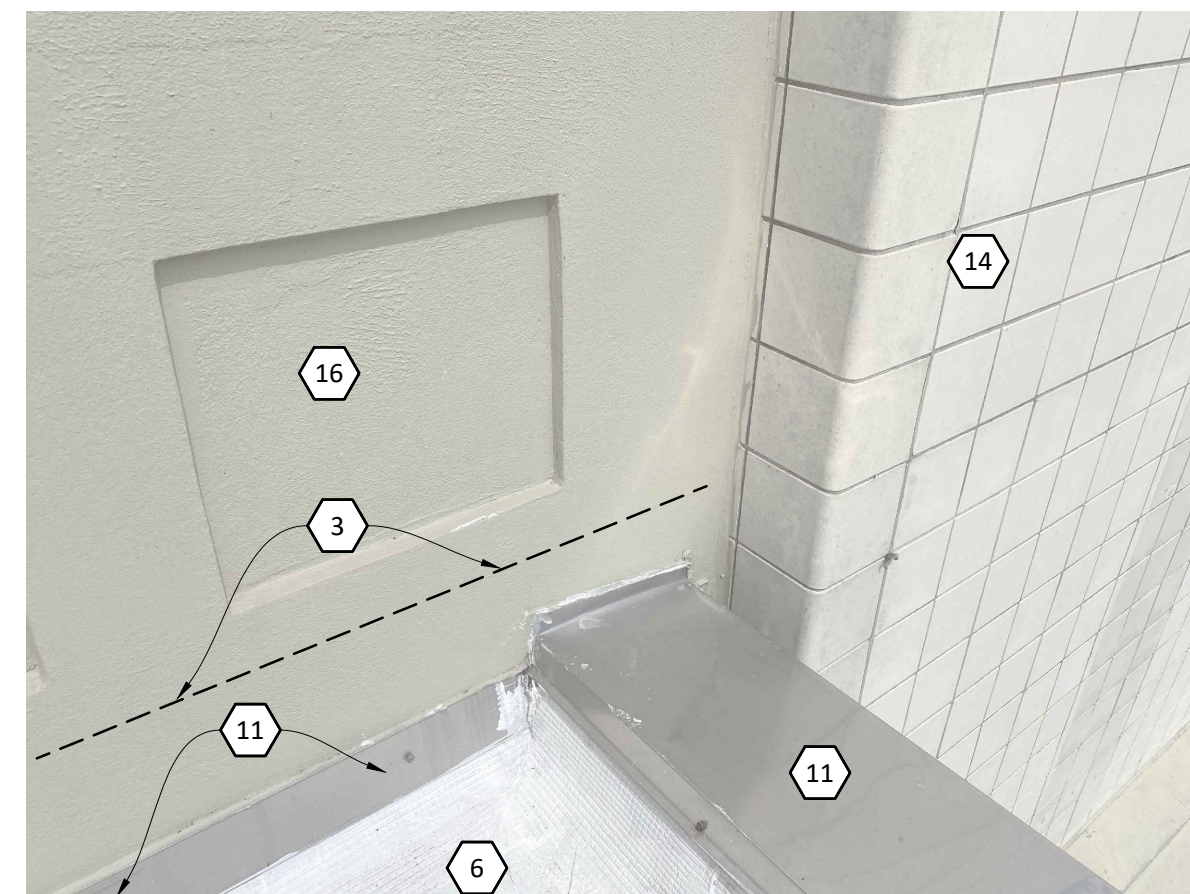
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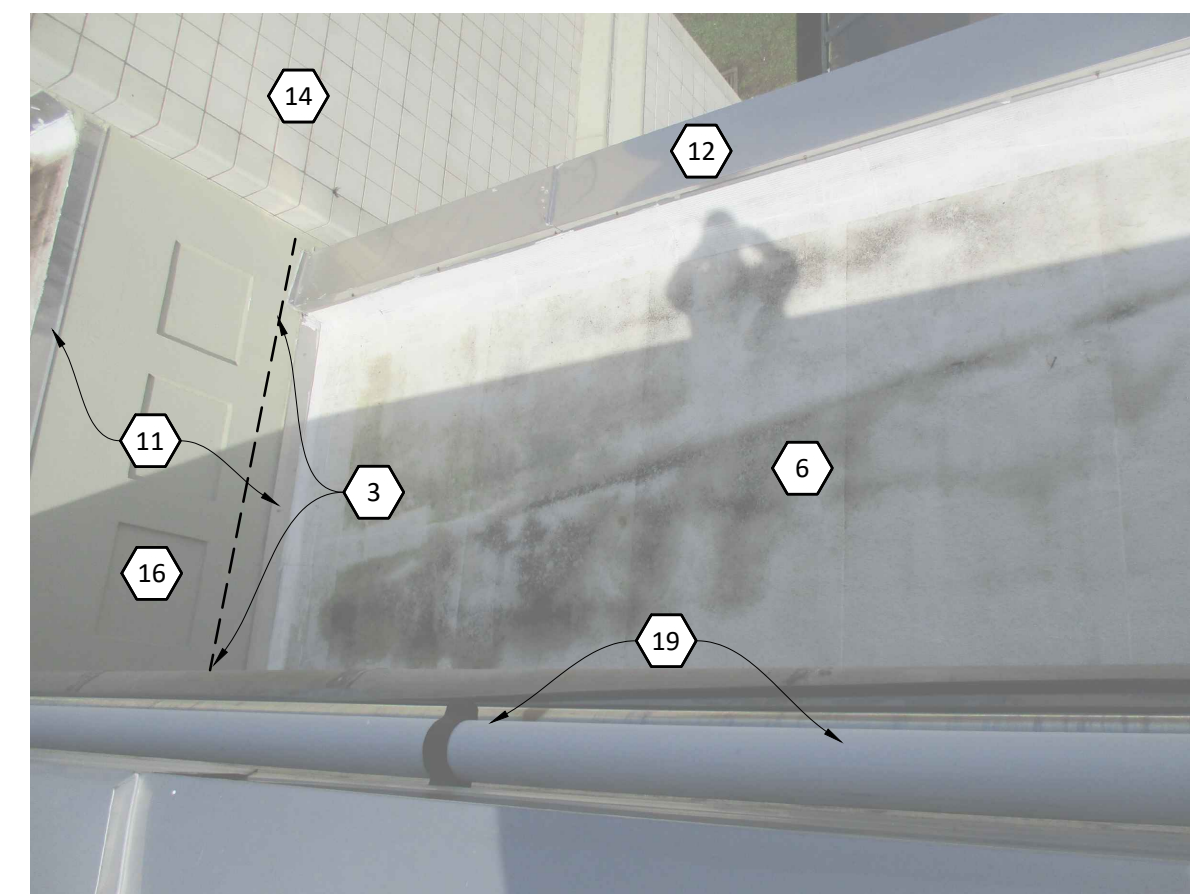
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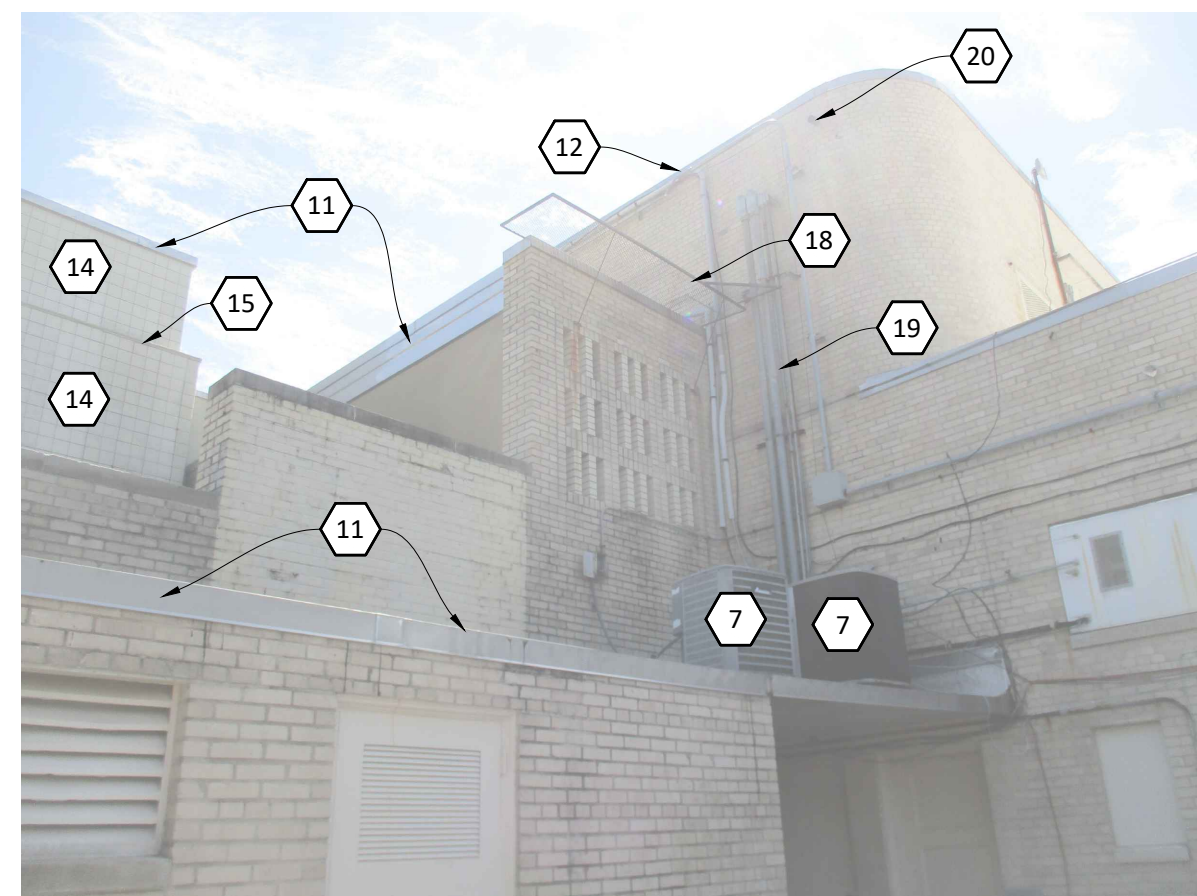
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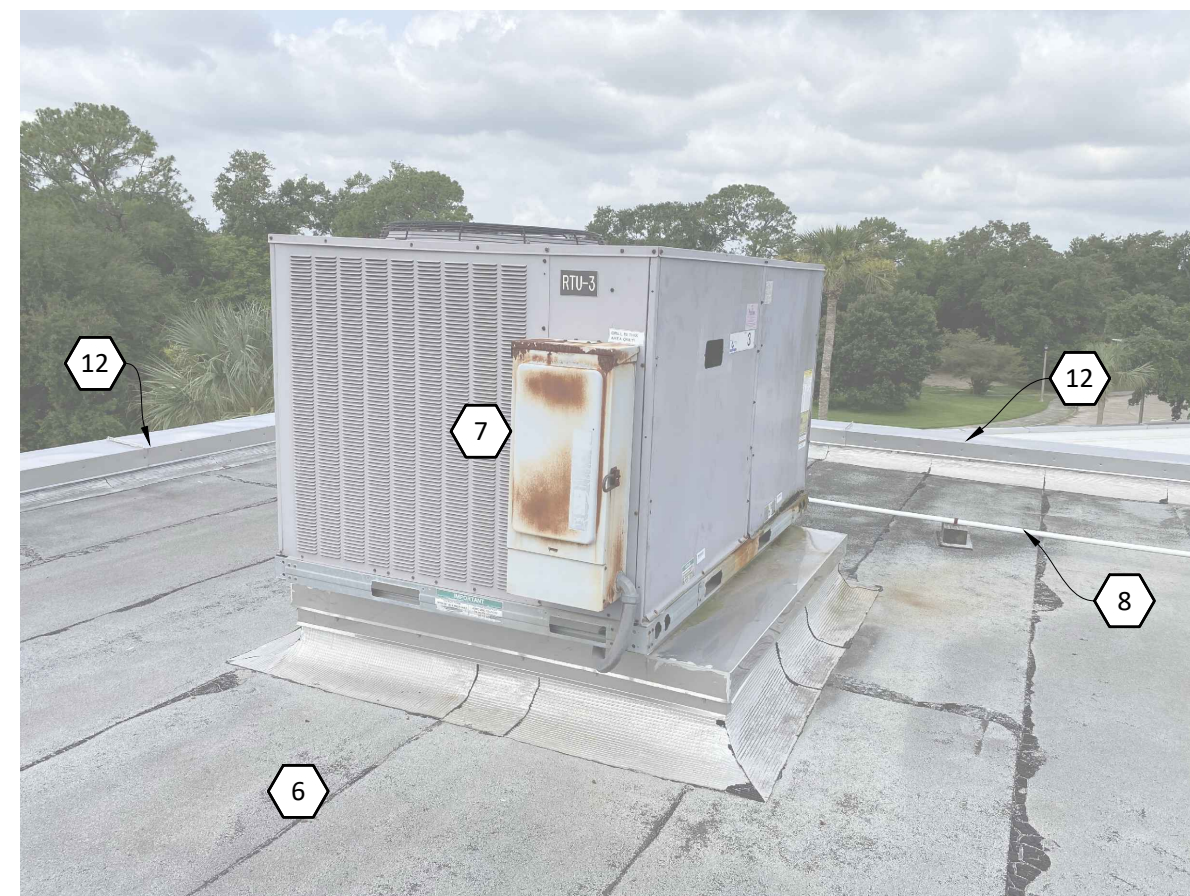
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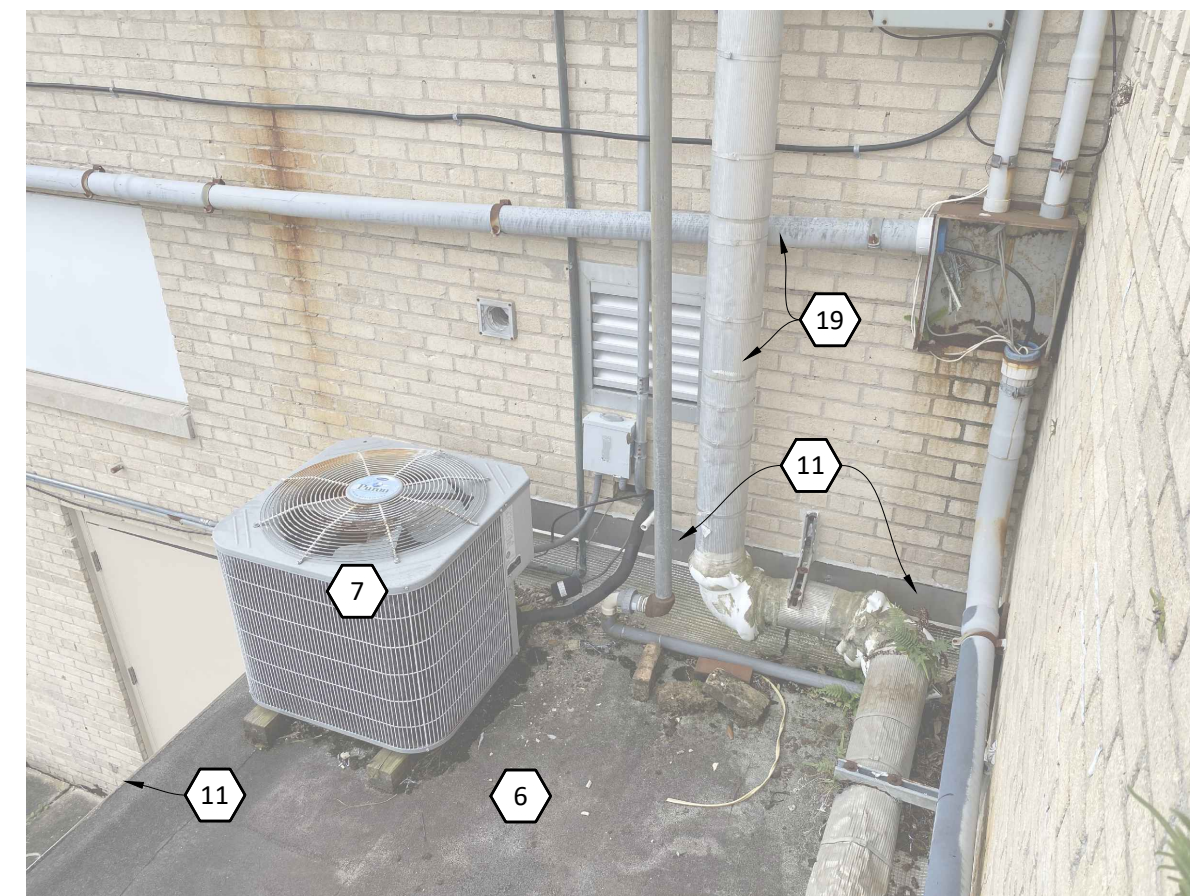
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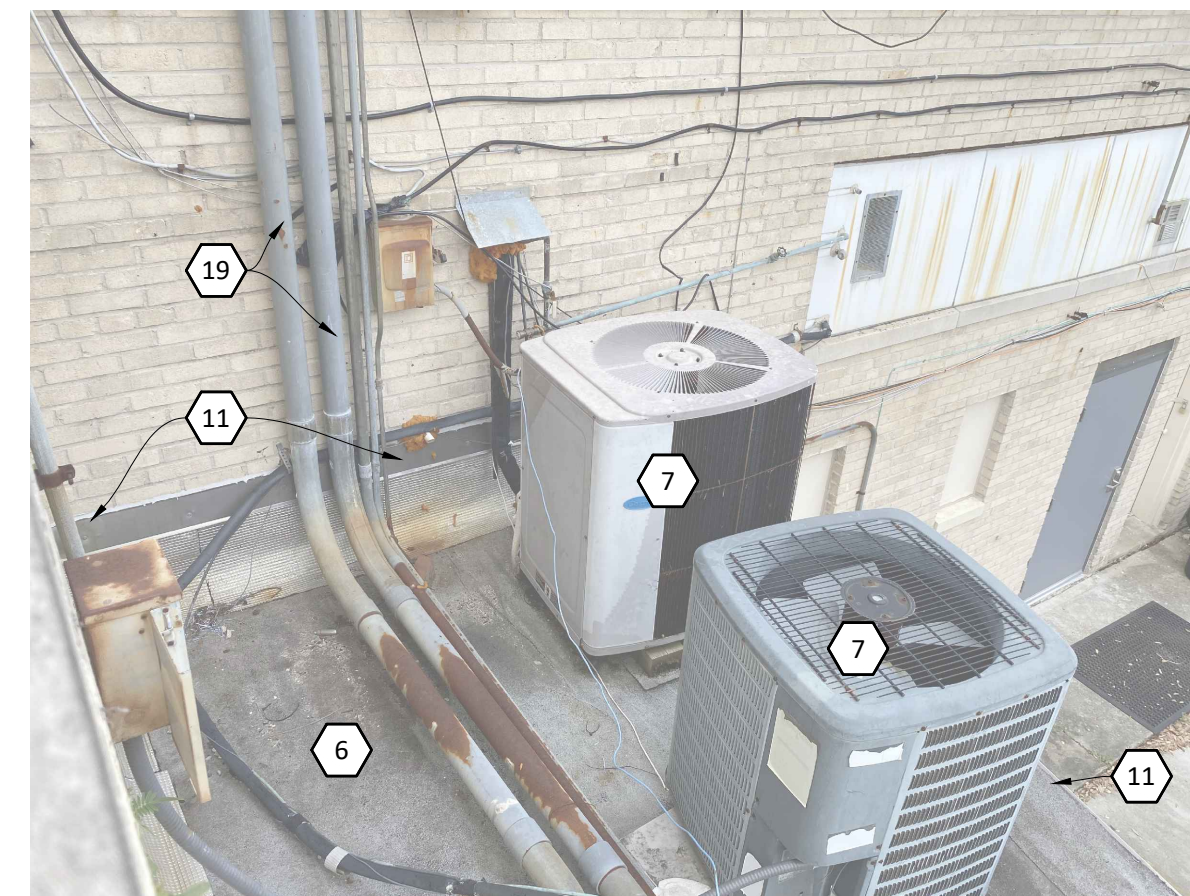
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A100 | G004 N.T.S.



17 PHOTOGRAPH
A101 | G004 N.T.S.

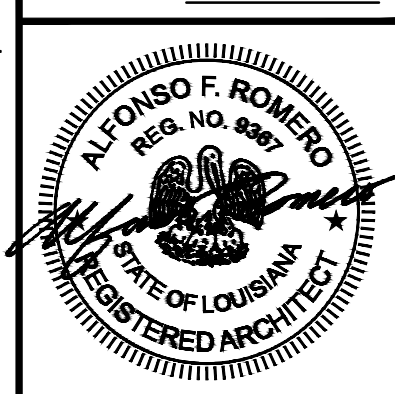


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KEYNOTES

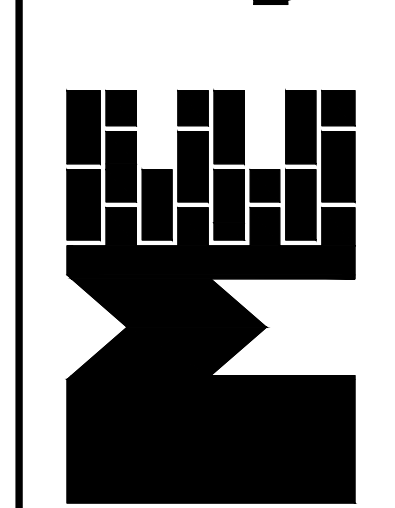
- NOTE: ALL KEYNOTES ARE SPECIFIC TO THIS SHEET
- 1 EXISTING SBS ROOF MEMBRANE SYSTEM ON CORRUGATED METAL DECK. REMOVE SBS AND ASSOCIATED METAL FLASHING WITH NEW TPO SYSTEM AND NEW STAINLESS STEEL FLASHING AND COUNTER FLASHING.
 - 2 REMOVE EXISTING SBS ROOF SYSTEM ATOP ELEVATOR HOISTWAY ENCLOSURE AND REPLACE WITH NEW TPO SYSTEM.
 - 3 CUT NEW KERF JOINT FOR NEW STAINLESS STEEL COUNTER FLASHING.
 - 4 REMOVE EXISTING ROOF TOP EQUIPMENT AND ENCLOSE OPENING WITH NEW CONSTRUCTION.
 - 5 EXISTING METAL ROOF ACCESS LADDER TO REMAIN.
 - 6 EXISTING SBS ROOF SYSTEM ON CONCRETE DECK AND REPLACE WITH NEW TOP ROOF MEMBRANE SYSTEM.
 - 7 PROTECT EXISTING RTU DURING CONSTRUCTION. REMOVE AND DISCARD WOOD BLOCKING AND INSTALL NEW EPDM EQUIPMENT SUPPORTS.
 - 8 REMOVE AND REPLACE ALL EXISTING PVC CONDENSATE PIPING WITH LIKE MATERIAL. REMOVE AND DISCARD ALL WOOD BLOCKING AND PROVIDE NEW PIPE SUPPORTS. SEE 7/A600
 - 9 EXISTING PRE-CAST CONCRETE HEADER TO REMAIN.
 - 10 REMOVE EXISTING SBS ROOF SYSTEM. EXISTING STAINLESS STEEL CAP FLASHING TO REMAIN. PROTECT FROM DAMAGE.
 - 11 REMOVE AND REPLACE EXISTING STAINLESS STEEL FLASHING AS PER CONSTRUCTION DOCUMENTS.
 - 12 EXISTING STAINLESS STEEL CAP FLASHING TO REMAIN. PROTECT DURING CONSTRUCTION.
 - 13 EXISTING ROOF DRAIN TO REMAIN. REMOVE ALL DEBRIS AND RE-INSTALL STRAINER. REPLACE ALL DAMAGED STRAINERS WITH COMPATIBLE STRAINER AS NEEDED. TYPICAL
 - 14 EXISTING 8"x8" GLAZED CMU TO REMAIN. PROTECT DURING CONSTRUCTION.
 - 15 EXISTING PRE-CAST CONCRETE WATERTABLE TO REMAIN. PROTECT DURING CONSTRUCTION.
 - 16 EXISTING E.I.F.S. TO REMAIN. PATCH AND REPAIR AS REQUIRED TO ACCEPT NEW WORK.
 - 17 VENT THROUGH ROOF. REMOVE AND REPLACE PROTECTIVE COVER WITH NEW MATERIAL.
 - 18 EXISTING METAL SCREEN. REMOVE, REPAIR AND REINSTALL AS PER CONSTRUCTION DOCUMENTS.
 - 19 EXISTING GAS LINES/CONDUITS N.I.C.
 - 20 EXISTING METAL SCUPPER TO REMAIN.

project no. 24-1130-0015
 drawn KJK
 checked AFR
 date 09.17.24
 revised



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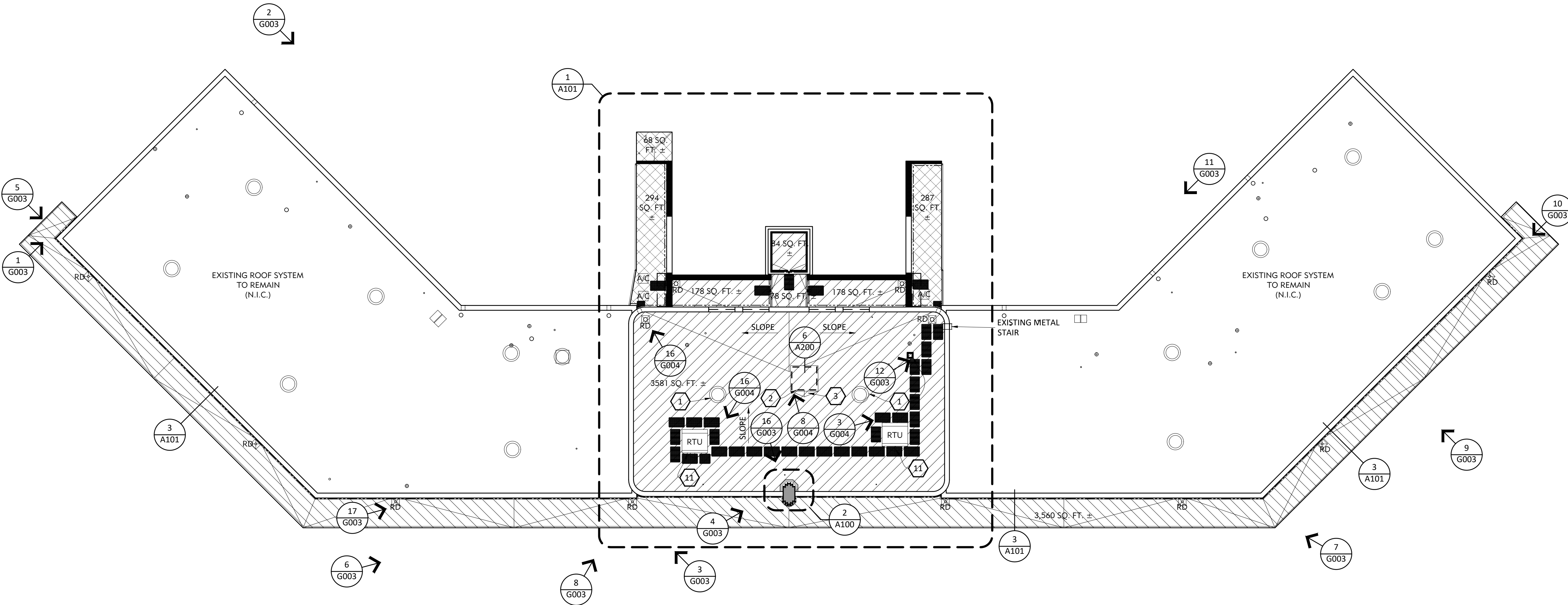
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PHOTOGRAPHS
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ROOF PLAN
SCALE: 1/16" = 1'-0"

GENERAL ROOFING NOTES

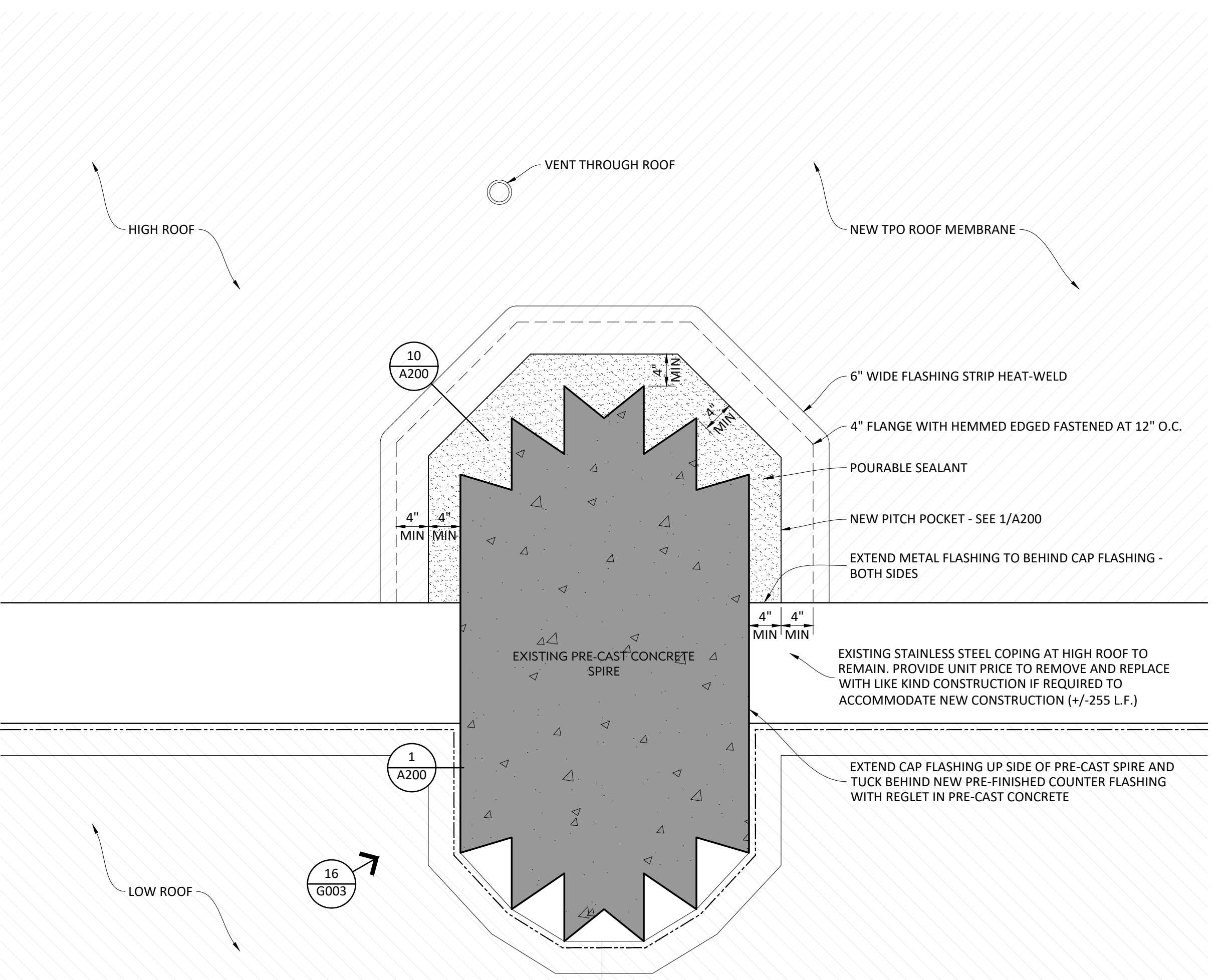
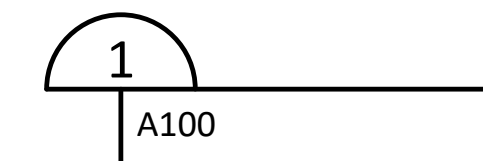
1. THE ROOF PLAN IS DERIVED FROM EXISTING BUILDING PLANS AND ARE INTENDED TO REASONABLY REPRESENT EXISTING CONDITIONS. ILLUSTRATIONS, DIMENSIONS, AND INFORMATION IN THESE DRAWINGS ARE BASED, IN PART, ON EXISTING DRAWINGS FURNISHED BY THE OWNER. ACTUAL CONDITIONS MAY DEVIATE FROM THAT SHOWN ON THE DRAWINGS. KEYNOTES IDENTIFY SPECIFIC AREAS OF WORK BUT MAY NOT BE COMPLETE IN THE IDENTIFICATION OF ALL REMOVALS. THE CONTRACTOR SHALL VERIFY ACTUAL CONDITIONS AND DIMENSIONS AND COORDINATE WITH NEW WORK SO THAT IT IS COMPLETE.
2. CONTRACTOR WILL INSPECT CONDITION OF EXISTING METAL CANOPY DECK. VERIFY THAT IT IS INTACT AND ACCEPTABLE FOR NEW ROOFING TO BE INSTALLED. IF REPAIRS OR REPLACEMENT OF DECK IS NECESSARY, CONTRACTOR SHALL INFORM A/E PRIOR TO ANY WORK BEING PERFORMED.
3. ALL EXPOSED WOOD BLOCKING EXPOSED DURING DEMOLITION AND DETERMINED TO BE NOT ACCEPTABLE FOR NEW ROOFING SHALL BE REPLACED ENTIRELY WITH NEW DIMENSION WOOD BLOCKING.
4. AT COMPLETION OF DEMOLITION, ALL SURFACES ARE TO BE THOROUGHLY CLEANED AND FREE OF ANY DEBRIS THAT WOULD INHIBIT THE INSTALLATION OF NEW ROOFING MATERIALS AND/OR CREATE AN UNACCEPTABLE FINISH.
5. CONTRACTOR TO REPORT ANY UNFORESEEN CONDITIONS AND ANY ADDITIONALLY DISCOVERED DAMAGE TO A/E IMMEDIATELY.
6. THE CONDITIONS CAPTURED AND NOTED IN THE PHOTOGRAPHS ASSEMBLED IN THESE DOCUMENTS REPRESENT EXAMPLES OF EXISTING CONDITIONS. THIS IS ONLY A MEANS TO DENOT THE TYPE OF CONDITIONS AND THEREFORE WORK THAT IS THE CONTRACTOR'S IN THE SCOPE. THE CONTRACTOR IS RESPONSIBLE TO FULLY SURVEY THE SITE AND BRING ATTENTION TO THE A/E IF THERE ARE CONDITIONS NOT CAPTURED.
7. WHERE EXISTING VENT IS REMOVED AND REPLACED IN SAME LOCATION, PATCH DECK FLUSH WITH EXISTING DECK.
8. ALL PLUMBING ROOF VENTS SHALL BE FLASHED WITH TPO ROOF MEMBRANE COMPATIBLE CYLINDRICAL PLUMBING BOOTS AND FLASH CAPS. SEE DETAIL 4/A200.
9. CONTRACTOR SHALL FIELD VERIFY IF EXISTING FLUES AND VENTS THROUGH ROOF ARE CURRENTLY ACTIVE. ALL ACTIVE FLUES/VENTS ARE TO BE EXTENDED AS NECESSARY TO PROPERLY VENT THROUGH NEW ROOF. ALL INACTIVE FLUES/VENTS SHALL BE CUT OFF BELOW THE EXISTING ROOF DECK AND CAPPED. PATCH EXISTING ROOF DECK WITH SIMILAR MATERIAL AND SEAL WITH CONTINUOUS BEAD OF CAULK AT PERIMETER OF PATCH MATERIAL. SEE 11/A200 FOR TYPICAL VTR DETAIL.
10. ALL ROOF PENETRATIONS/ACCESSORIES LOCATIONS SHOWN ARE APPROXIMATE ONLY. FIELD VERIFY EXACT LOCATIONS IS REQUIRED.
11. ALL NEW ROOF FLASHING SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATION.
12. CONTRACTOR SHALL REMOVE ANY/ALL EXISTING ROOF FLASHING AS NEEDED TO INSTALL NEW ROOF SYSTEM AND ROOF FLASHING. EXISTING STAINLESS STEEL CAP FLASHING TO REMAIN. WHERE EXISTING STAINLESS STEEL CAP FLASHING IS DETERMINED BY THE CONTRACTOR TO BE REMOVED, EXTENT OF CAP FLASHING REMOVED TO BE LIMITED TO SCOPE REQUIRED TO PERFORM THE WORK. NEW FLASHING TO BE REPLACED IN-KIND.
13. SEE 4/A201 FOR TYPICAL ROOF DRAIN DETAIL.
14. SEE 4/A200 FOR TYPICAL PIPE PENETRATION DETAIL.
15. ALL PVC CONDENSATION PIPES TO BE SUPPORTED BY NEW EPDM PIPE SUPPORTS. SEE DETAIL 8/A200.

LEGEND

- ROOF SYSTEM 1 - PERLITE TAPERED INSULATION, 1/2" COVER BOARD, 60 MIL TPO MEMBRANE OVER EXISTING METAL ROOF DECK.
- ROOF SYSTEM 2 - 2" POLYISO INSULATION BOARD, PERLITE TAPERED INSULATION, 1/2" COVER BOARD, 60 MIL TPO MEMBRANE OVER EXISTING CONCRETE DECK.
- ROOF SYSTEM 3 - 1/2" COVER BOARD & 60 MIL TPO MEMBRANE OVER EXISTING CONCRETE DECK.
- ITEMS TO BE REMOVED
- LOCATION OF KERF CUTS INTO EXISTING BUILDING CLADDING TO RECEIVE NEW COUNTERFLASHING REGLETS. SEE DETAIL 9/A200.
- WALKWAY PAD

KEYNOTES

- NOTE: ALL KEYNOTES ARE SPECIFIC TO THIS SHEET
- 1 EXISTING EXHAUST FAN TO REMAIN. REMOVE COPPER ROOF VENT AND REPLACE WITH NEW WEATHER-RESISTANT STAINLESS-STEEL CONSTRUCTION OF SIMILAR SIZE AND MAKE.
 - 2 REMOVE EXISTING ROOFTOP HVAC EQUIPMENT ONLY. ENCAPSULATE CURB WITH NEW INSULATED CONSTRUCTION.
 - 3 CRICKETS AT NEW ROOFTOP EQUIPMENT.



PITCH POCKET DETAIL AT SPIRE DETAIL
SCALE: 1" = 1'-0"

WIND LOAD DATA SUMMARY

WIND LOAD DATA
BASIC WIND SPEED (3 SEC. GUST) = 142 MPH
EXPOSURE CATEGORY = C
TOPOGRAPHIC FACTOR = 1.00
ADJUSTMENT FACTOR = 1.43
ENCLOSURE CLASSIFICATION: ENCLOSED

W = COMPONENTS AND CLADDING DESIGN WIND LOAD PRESSURES (PSF) PER IBC 2021

EWA (SF)	OVERHANG				1	1'	2	3	4	5						
	ZONE 1	ZONE 1'	ZONE 2	ZONE 3												
10	-74.79	-74.79	-101.16	-140.77	21.08	-80.37	21.08	-46.19	21.08	-105.96	21.08	-144.43	51.97	-54.63	51.97	-67.50
20	-73.47	-73.47	-91.86	-124.41	19.73	-75.08	19.73	-46.19	19.73	-99.10	19.73	-130.85	49.62	-52.48	49.62	-62.92
50	-71.70	-71.70	-79.51	-102.76	18.10	-68.07	18.10	-46.19	18.10	-90.09	18.10	-112.83	46.50	-49.48	46.50	-56.91
100	-70.38	-70.38	-70.10	-86.43	16.76	-62.78	16.76	-46.19	16.76	-83.37	16.76	-99.10	44.16	-47.19	44.16	-52.48

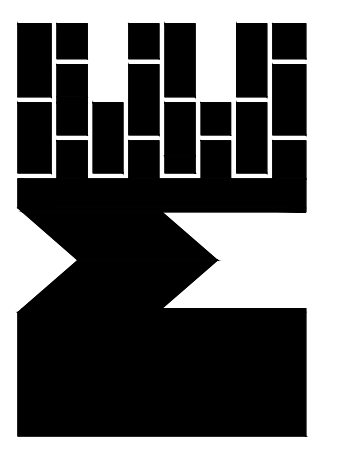
- NOTES:**
1. EWA IS THE EFFECTIVE WIND AREA OF A STRUCTURAL COMPONENT.
 2. FOR ZONE DEFINITIONS, SEE ASCE 7-16 FIGURE 30.4-1
 3. PLUS AND MINUS SIGNS SIGNIFY PRESSURES ACTING TOWARD AND AWAY FROM THE SURFACES, RESPECTIVELY.
 4. WIND LRFD LOAD COMBINATION = 1.0W. WIND ASD LOAD COMBINATION = 0.6W.

project no. 24-1130-0015
drawn KJK
checked AFR
date 09.17.24
revised



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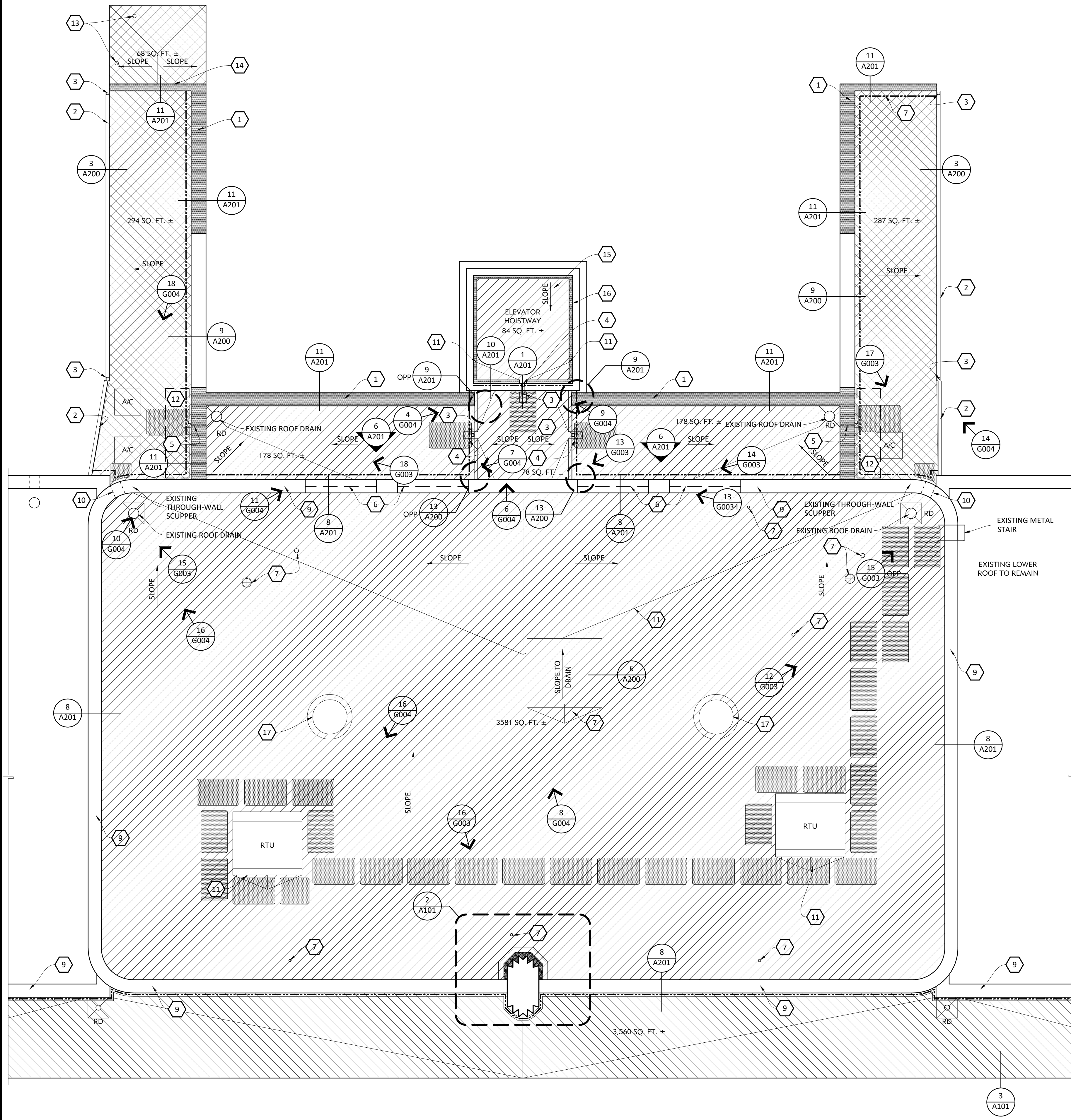
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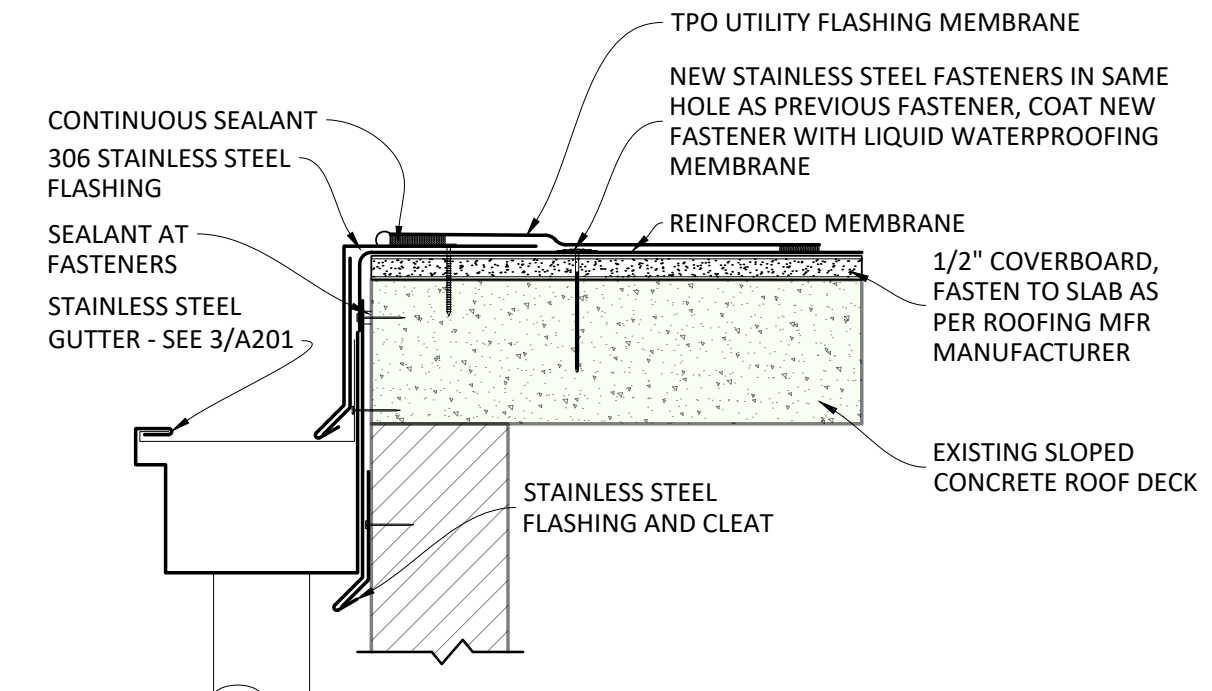
OVERALL ROOF PLAN, WIND LOAD SUMMARY CHART
LAKE VISTA CC ROOF REPLACEMENT
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LAKEFRONT MANAGEMENT AUTHORITY

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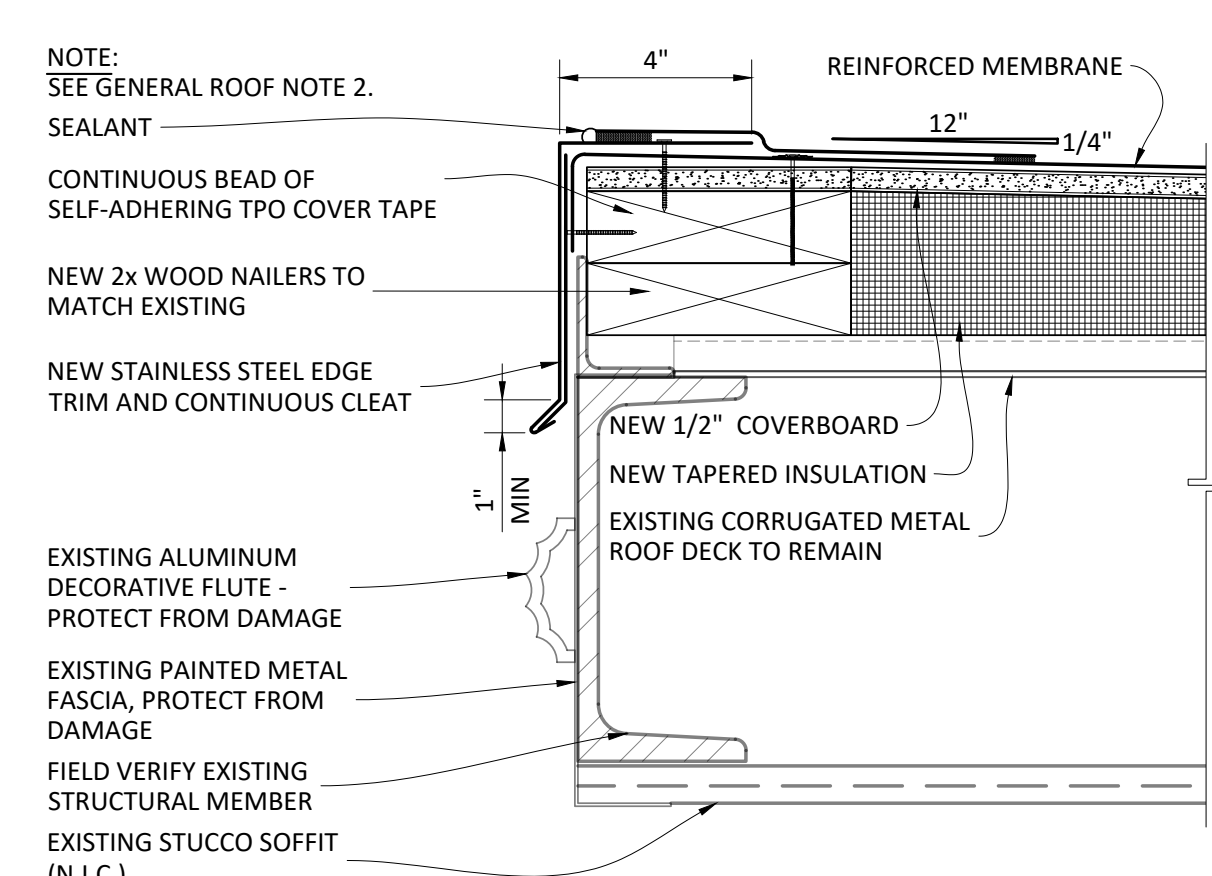
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ENLARGED ROOF PLAN
SCALE: 3/16" = 1'-0"



2 ROOF DETAIL
SCALE: 3" = 1'-0"



AWNING DETAIL
SCALE: 3" = 1'-0"

GENERAL ROOF NOTES

- SEE 4/A201 FOR TYPICAL ROOF DRAIN DETAIL.
- ASSESS CONDITION OF EXISTING CORRUGATED METAL ROOF DECK. REMOVE PORTIONS DECK THAT IS DETERMINED TO BE UNSATISFACTORY AND PATCH WITH NEW GALVANIZED DECK THAT IS COMPATIBLE WITH EXISTING DECK. SECURE NEW DECK TO EXISTING STRUCTURE TO MEET SPECIFIED WIND LOAD DATA.
- ALL EXISTING PVC CONDENSATION PIPES TO BE SUPPORTED BY NEW EPDM PIPE SUPPORTS. SEE DETAIL 8/A200.
- ALL NEW DOWNSPOUTS ABOVE A LOWER ROOF SHALL TERMINATE A MINIMUM 12" AWAY FROM ADJACENT WALL. PLACE NEW STAINLESS STEEL SPLASH BLOCK AT THE OUTLET OF EACH DOWNSPOUT THAT DISCHARGES ON A LOWER ROOF. RIVET SPLASH BLOCK TO DOWNSPOUT OUTLET.
- PLACE A NEW CONCRETE SPLASH BLOCK ON GROUND AT THE OUTLET OF EACH NEW DOWNSPOUT.

LEGEND

- ROOF SYSTEM 1 - TPO ROOFING MEMBRANE OVER 1/2" COVER BOARD ON TAPERED RIGID INSULATION OVER EXISTING METAL ROOF DECK (INSPECT DECK FOR SOUNDNESS). REFER TO DETAIL 3/A101.
- ROOF SYSTEM 2 - TPO ROOFING MEMBRANE OVER 1/2" COVER BOARD ON TAPERED RIGID INSULATION (1 1/2" MIN. THICKNESS), OVER EXISTING LWIC DECK.
- ROOF SYSTEM 3 - TPO MEMBRANE OVER 1/2" COVER BOARD OVER EXISTING CONCRETE DECK.
- LOCATION OF KERF CUTS INTO EXISTING BUILDING CLADDING TO RECEIVE NEW COUNTERFLASHING REGLETS. SEE DETAILS 9, 10 & 3/A200.
- WALKWAY PAD/SPLASH BLOCK PAD
- REMOVE AND REPLACE S.S. COPING

KEYNOTES

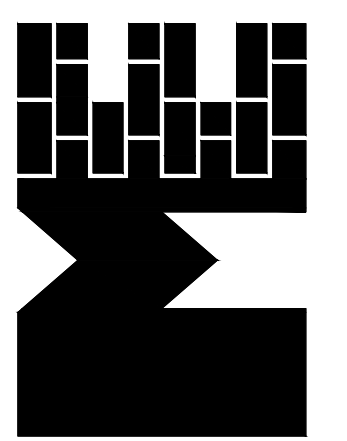
- NOTE: ALL KEYNOTES ARE SPECIFIC TO THIS SHEET
- REMOVE AND REPLACE EXISTING METAL CURB FLASHING CAP WITH NEW STAINLESS STEEL CAP FLASHING.
 - NEW STAINLESS STEEL GUTTER. SEE 3/A201 FOR GUTTER PROFILE.
 - NEW 3"x3" STAINLESS STEEL DOWNSPOUT. WHERE DOWNSPOUT EMPTIES ONTO LOWER ROOF, EXTEND END OF DOWNSPOUT MINIMUM 12" AWAY FROM ADJACENT ROOF AND PLACE A STAINLESS-STEEL SPLASH BLOCK ON TPO WALK PAD. SEE 7/A201.
 - NEW STAINLESS STEEL CONDUCTOR HEAD. SEE 2/A201.
 - NEW THROUGH-WALL STAINLESS-STEEL SCUPPER, CONDUCTOR HEAD AND DOWNSPOUT - SEE 5/A200 AND 2/A201.
 - EXISTING METAL WINDOW UNIT BELOW TO BE ENCLOSED. SEE 6/A201.
 - VENT THROUGH ROOF/JACK. REMOVE AND REPLACE PROTECTIVE COVERS WITH NEW MATERIAL COMPATIBLE WITH TPO MEMBRANE.
 - NEW STAINLESS STEEL CONDUCTOR HEAD AT EXISTING OVERFLOW SCUPPER. SEE 2/A201 SIMILAR.
 - STAINLESS STEEL COPING TO REMAIN. PROVIDE UNIT PRICE TO REMOVE AND REPLACE WITH LIKE KIND CONSTRUCTION IF REQUIRED TO ACCOMMODATE NEW CONSTRUCTION (+/-255 L.F.)
 - EXISTING SCUPPER. PLACE NEW SPLASH PAD BELOW SCUPPER AT ROOF BELOW.
 - NEW CRICKET.
 - EXISTING EXPANDED METAL SCREEN ASSEMBLY TO BE REMOVED, CLEANED, REGALVANIZE AND REINSTALLED WITH NEW S.S. FASTENERS.
 - PITCH POCKETS FOR PENETRATIONS SUPPLIED BY TPO ROOFING MANUFACTURER.
 - EXISTING CONTROL OR EXPANSION JOINT TO BE REBUILT.
 - EXISTING LWIC SLAB TO BE GROUND SMOOTH TO ACCOMMODATE NEW TPO ROOFING ASSEMBLY WITH RIGID TAPERED INSULATION (1 1/2" MINIMUM THICKNESS). PROVIDE POSITIVE DRAINAGE TO NEW SCUPPER/LEADER.
 - NEW RAISED, BUILT-UP CURB WITH STAINLESS STEEL FLASHING TO CHANNEL WATER TO SCUPPER/LEADER ASSEMBLY. SECURE CURB TO CMU WALL BELOW.
 - EXISTING EXHAUST FAN TO REMAIN. REMOVE AND REPLACE COPPER VENT WITH NEW WEATHER-RESISTANT STAINLESS-STEEL CONSTRUCTION OF SIMILAR SIZE AND MAKE.

project no. 24-1130-0015
 drawn KJK
 checked AFR
 date 09.17.24
 revised



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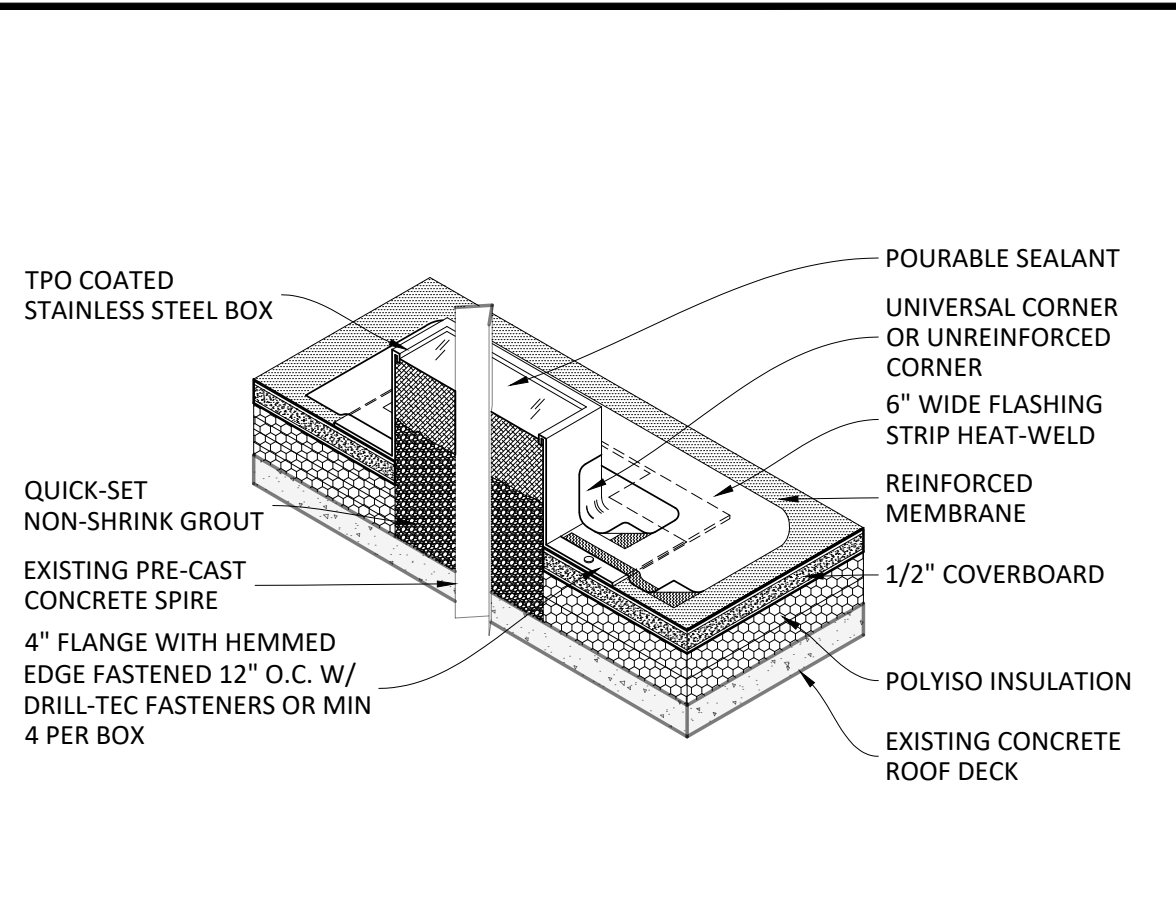
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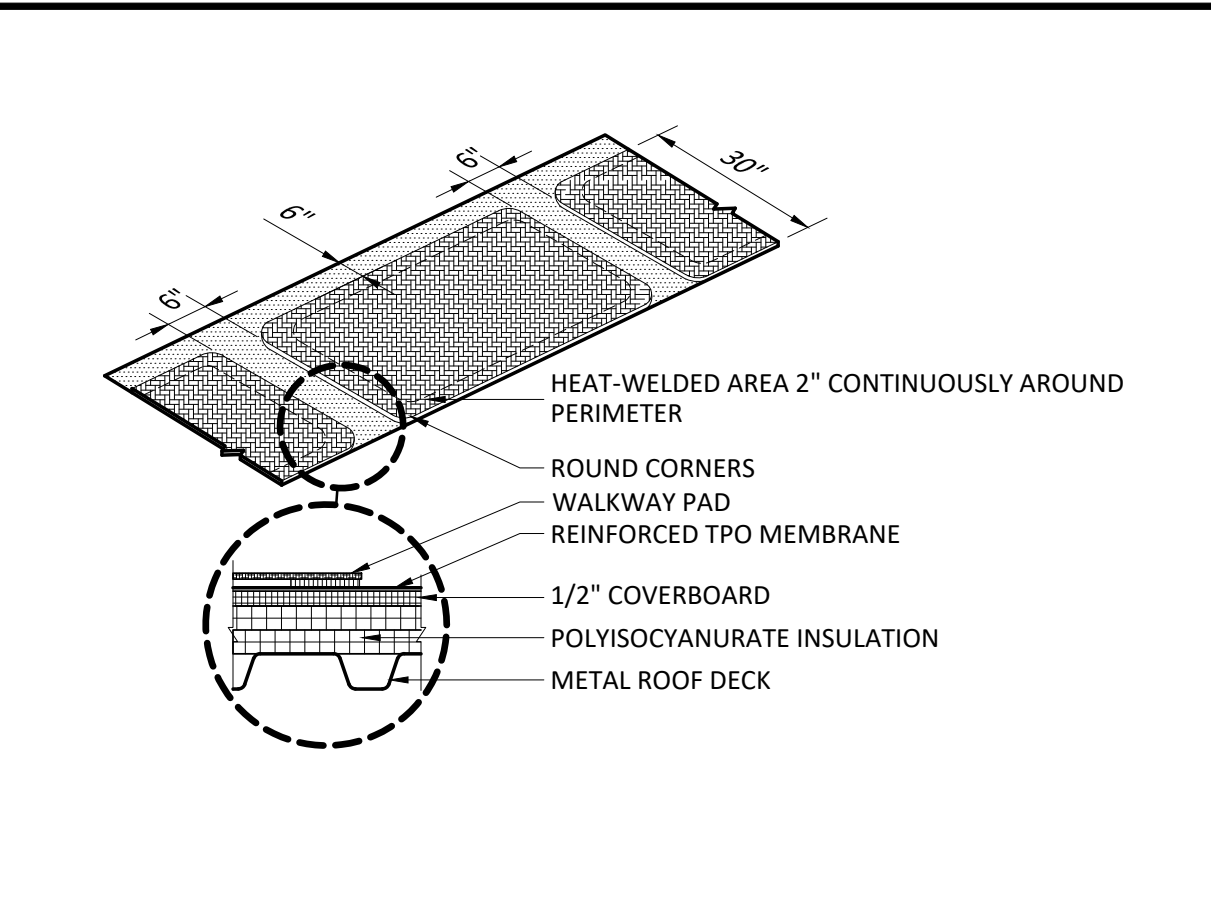
ENLARGED ROOF PLAN & AWNING DETAIL
LAKE VISTA CC ROOF REPLACEMENT
 6500 SPANISH FORT BLVD, NEW ORLEANS, LA 70124
 LAKEFRONT MANAGEMENT AUTHORITY

sheet no. **A101**
 of 8 sheets

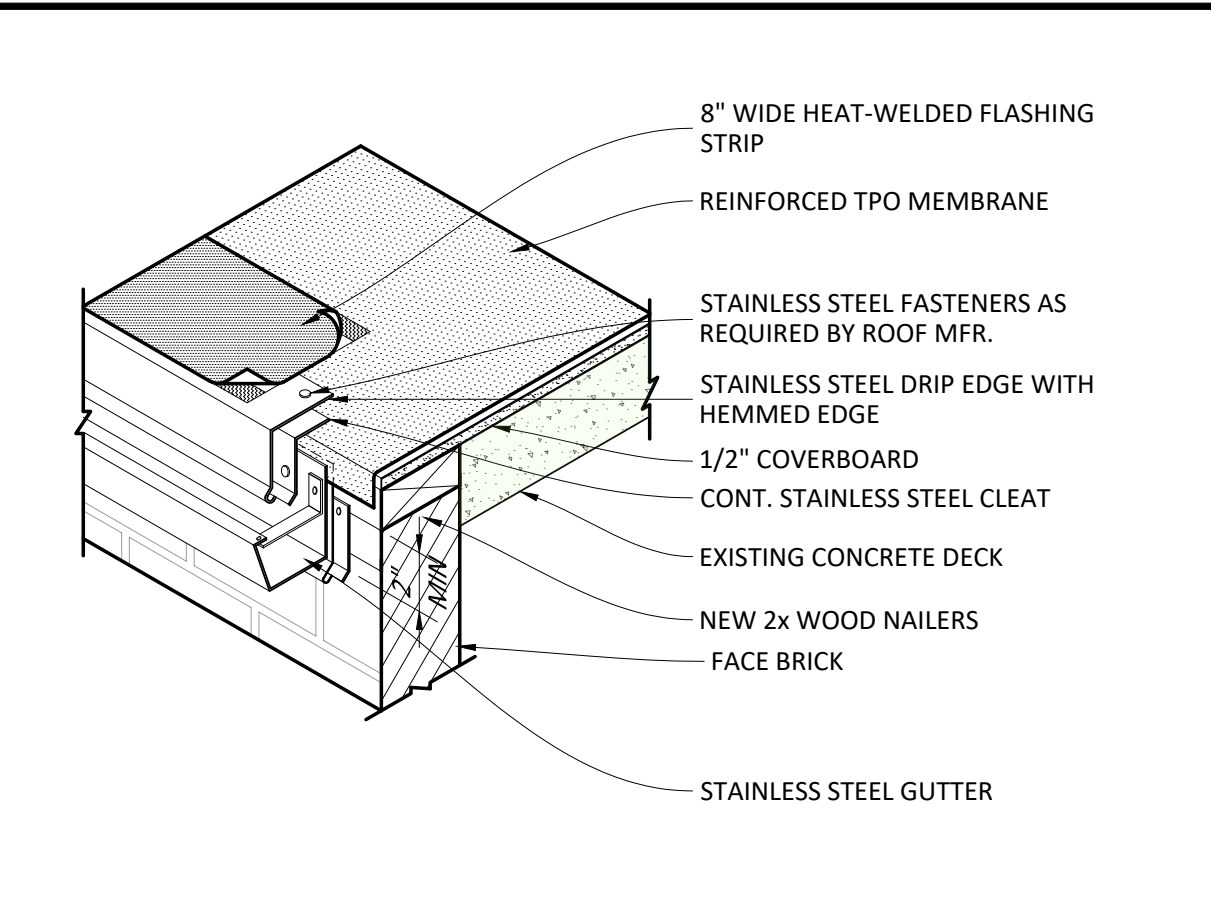
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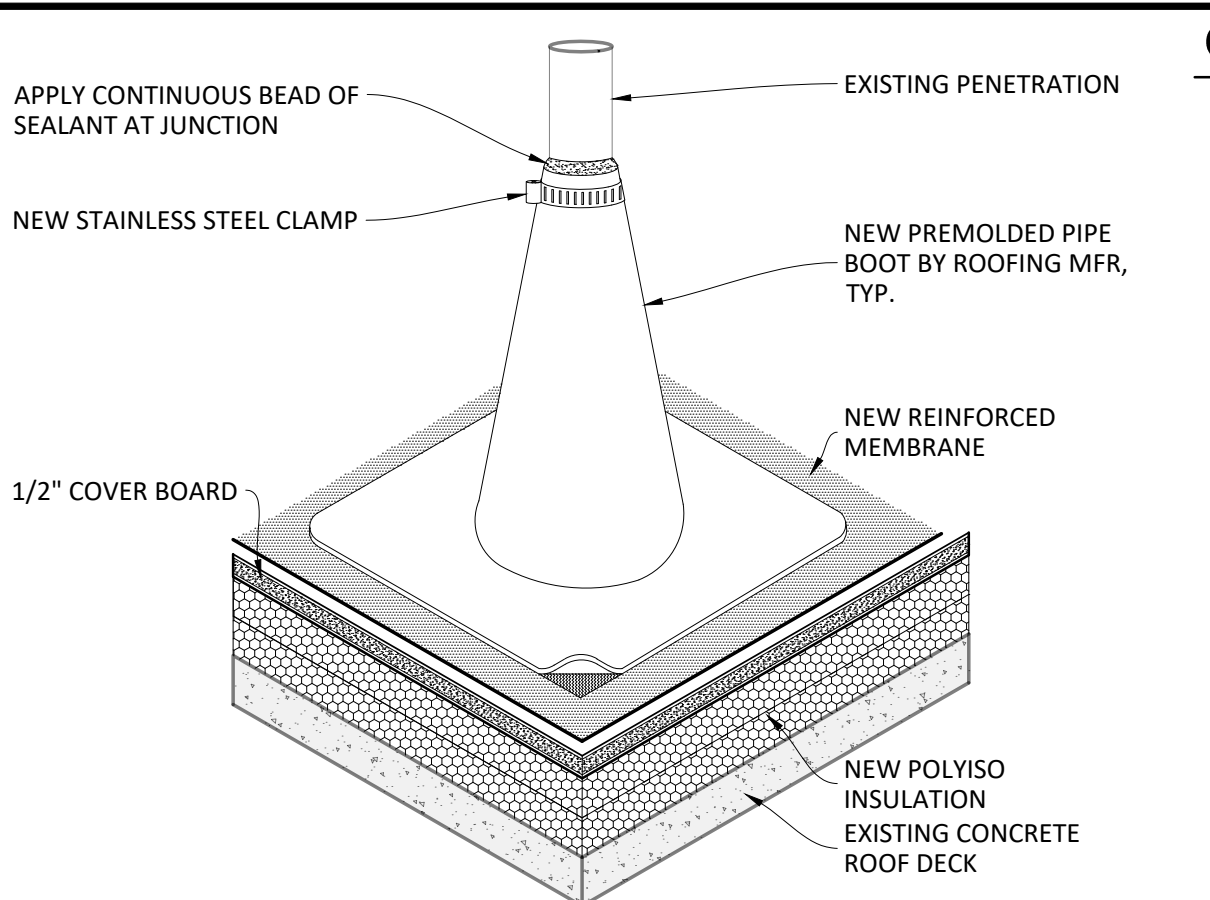
1 PITCH POCKET DETAIL
A100 | A200 NOT TO SCALE



2 WALKWAY PAD DETAIL
A100 | A200 NOT TO SCALE



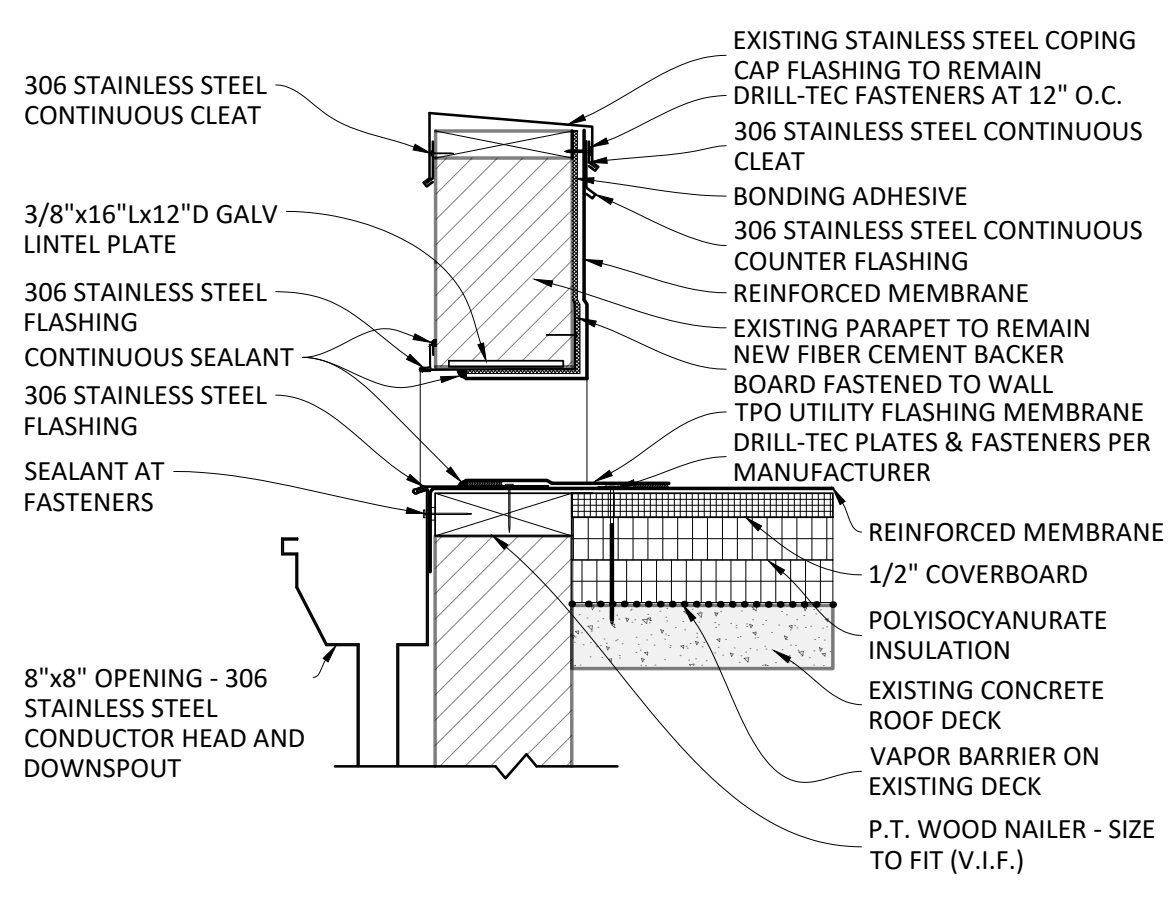
3 ROOF EDGE DETAIL
A101 | A200 SCALE: 3\"/>



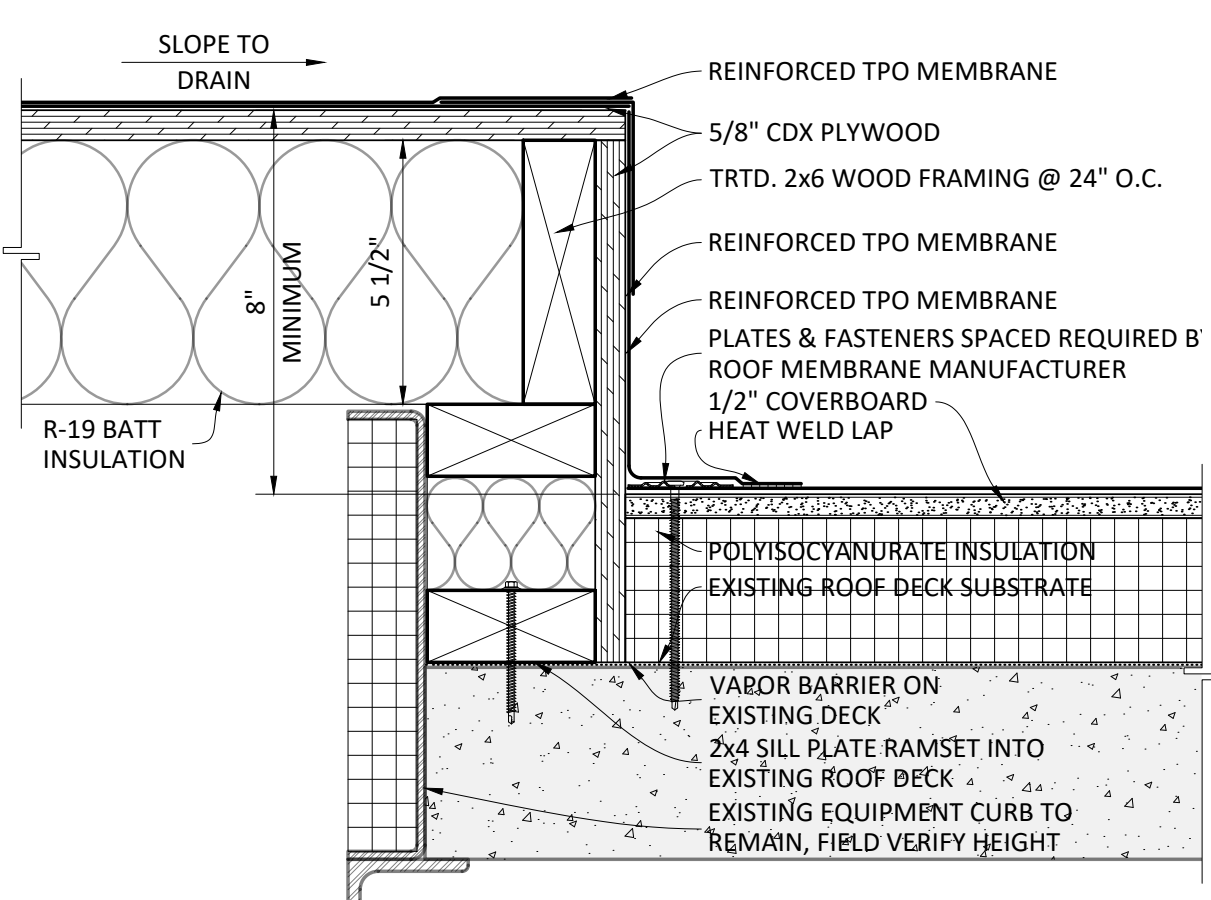
4 TYP. ROOF PENETRATION
A100 | A200 SCALE: 3\"/>

GENERAL ROOF NOTES

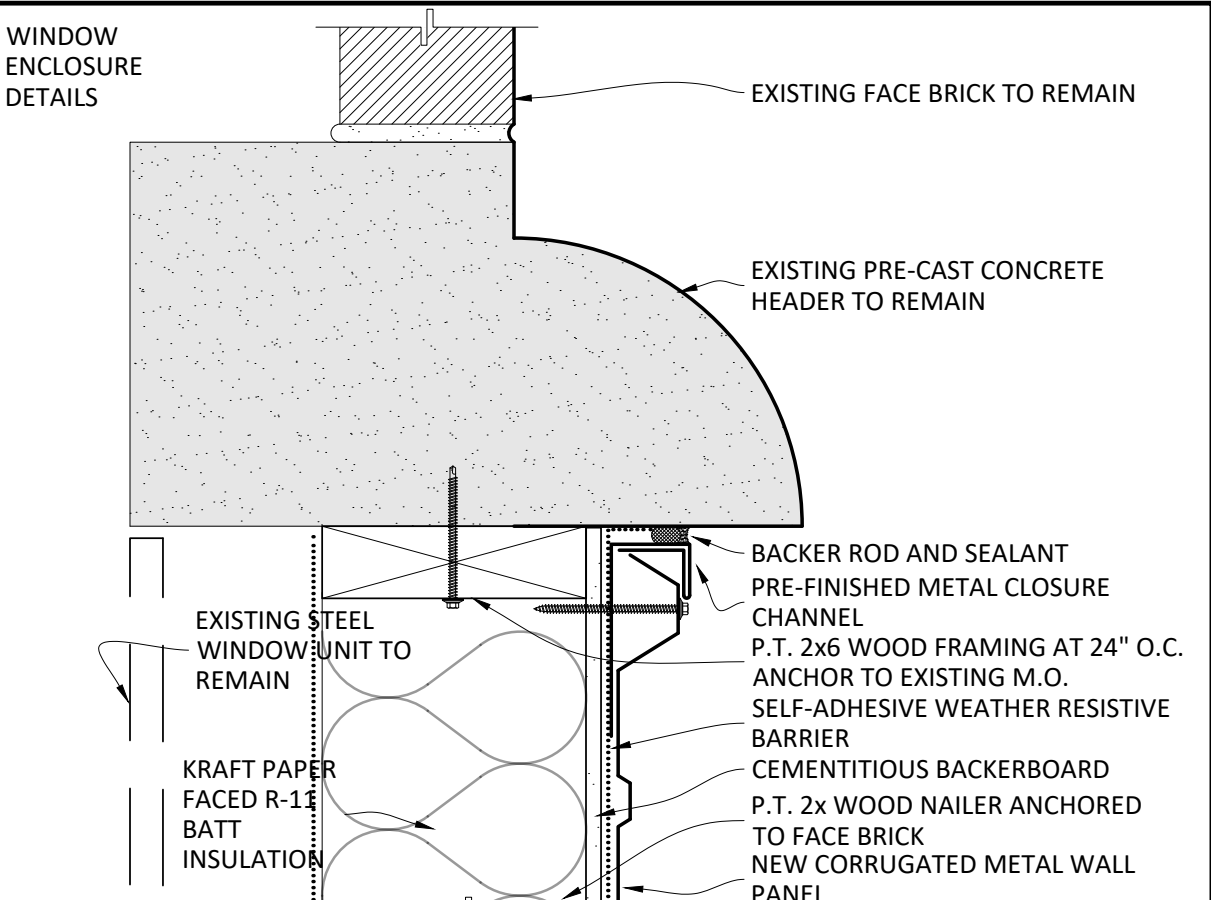
1. REMOVE ALL EXISTING ASPHALT PITCH POCKET ASSEMBLIES AND REPLACE WITH NEW TPO COMPATIBLE PITCH POCKET WITH POURABLE SEALANTS AS PROVIDED BY TPO ROOF MANUFACTURER.
2. ALL FLASHING CLEATS AND BRACKETS SHALL BE MINIMUM ONE GAUGE THICKER THAN THE FLASHING ATTACHED.
3. ALL SCUPPERS SHALL BE CONTINUOUSLY SEALED ALONG THE PERIMETER ON OUTSIDE FACING WALL.
4. WHERE REGLETS ARE CUT INTO MASONRY, ADJUST FLASHING HEIGHT SUCH THAT THE KERF CUT IS MADE INTO A CORRESPONDING MORTAR JOINT. DO NOT CUT MASONRY UNITS.



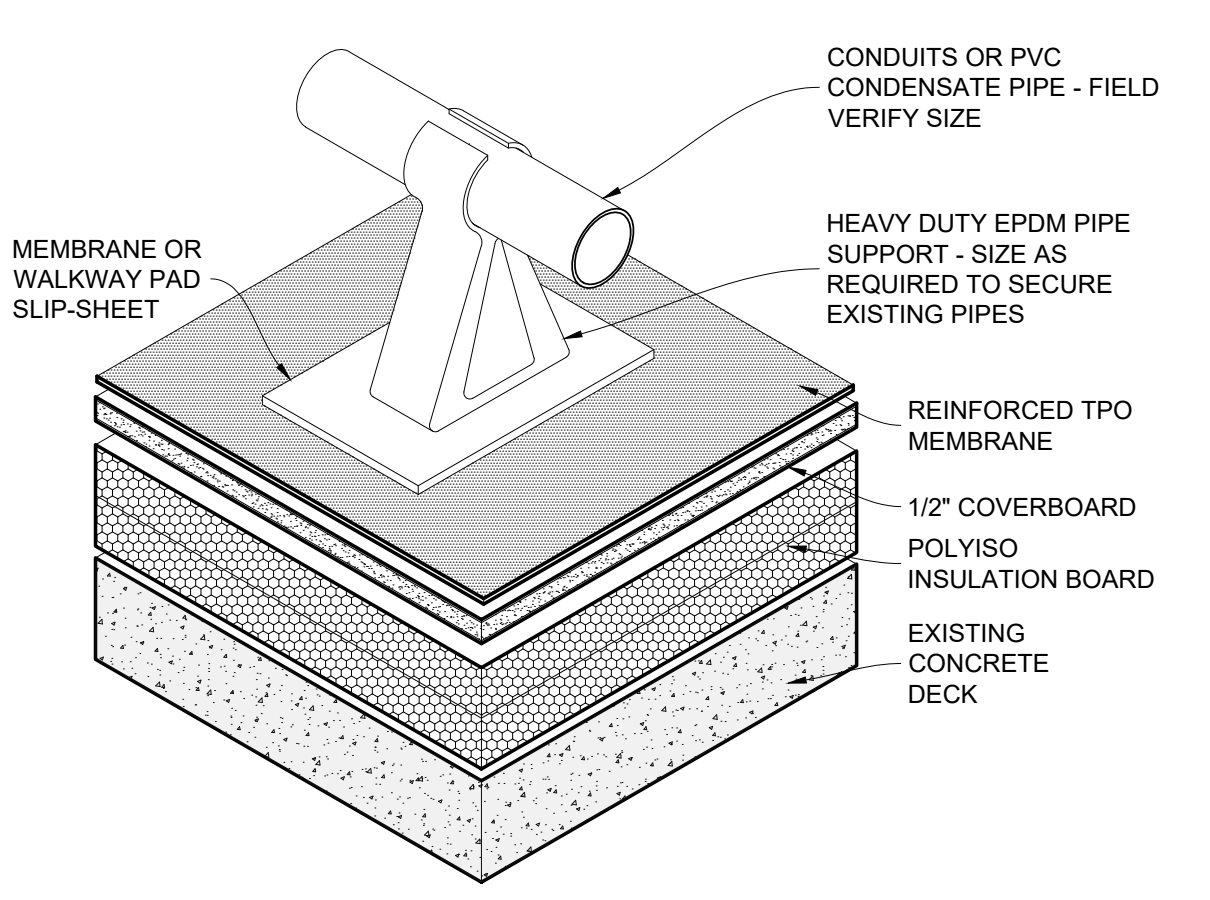
5 SCUPPER DETAIL
A101 | A200 NOT TO SCALE



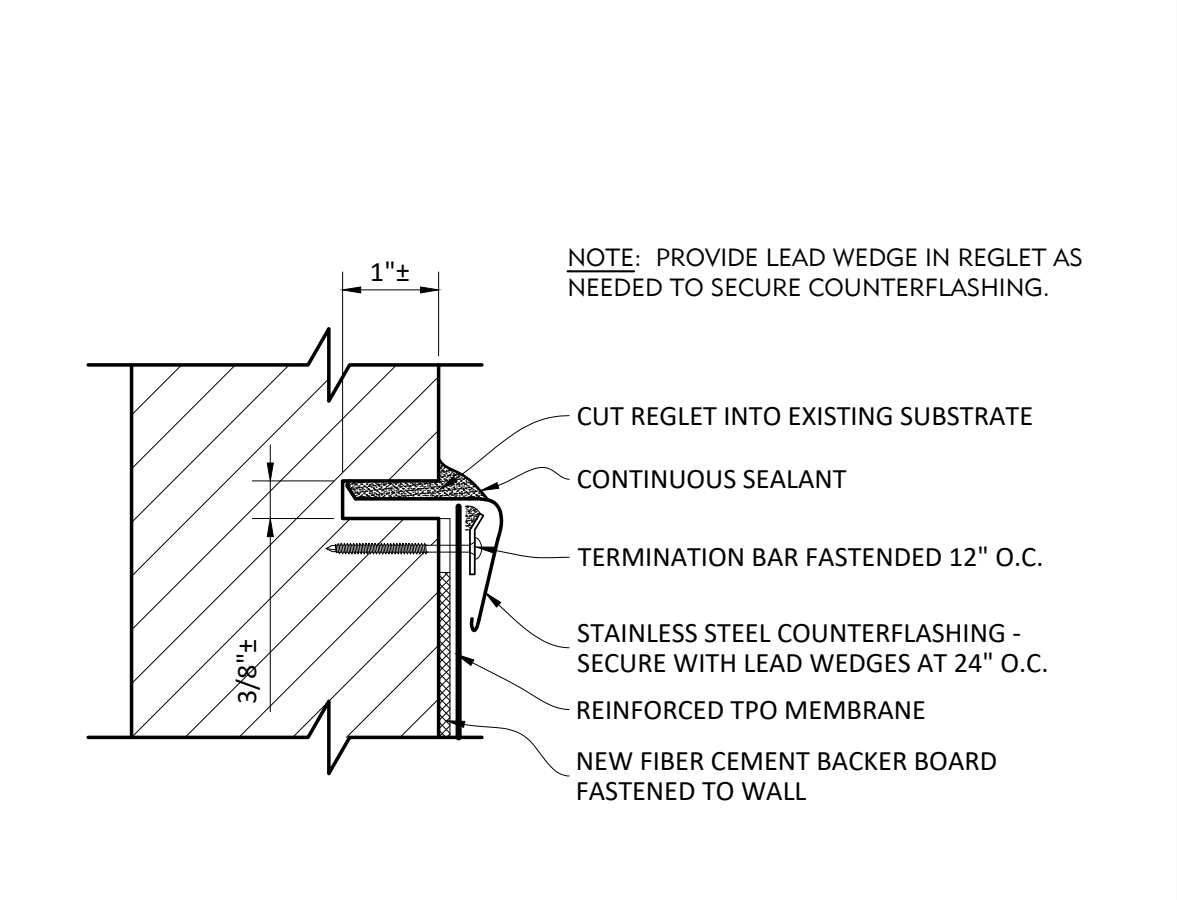
6 CURB DETAIL
A100 | A200 SCALE: 3\"/>



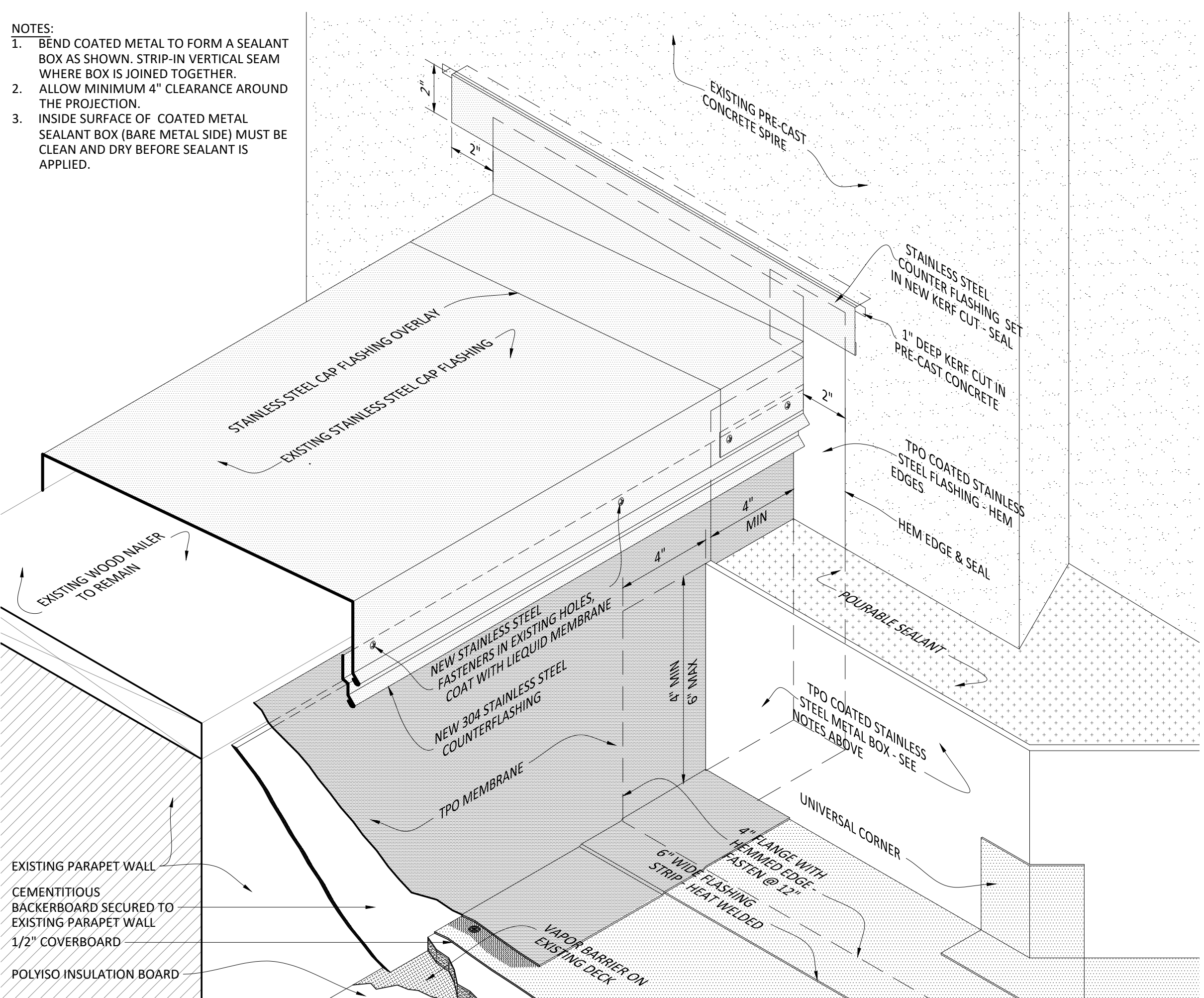
7 DETAIL - HEAD
A201 | A200 SCALE: 3\"/>



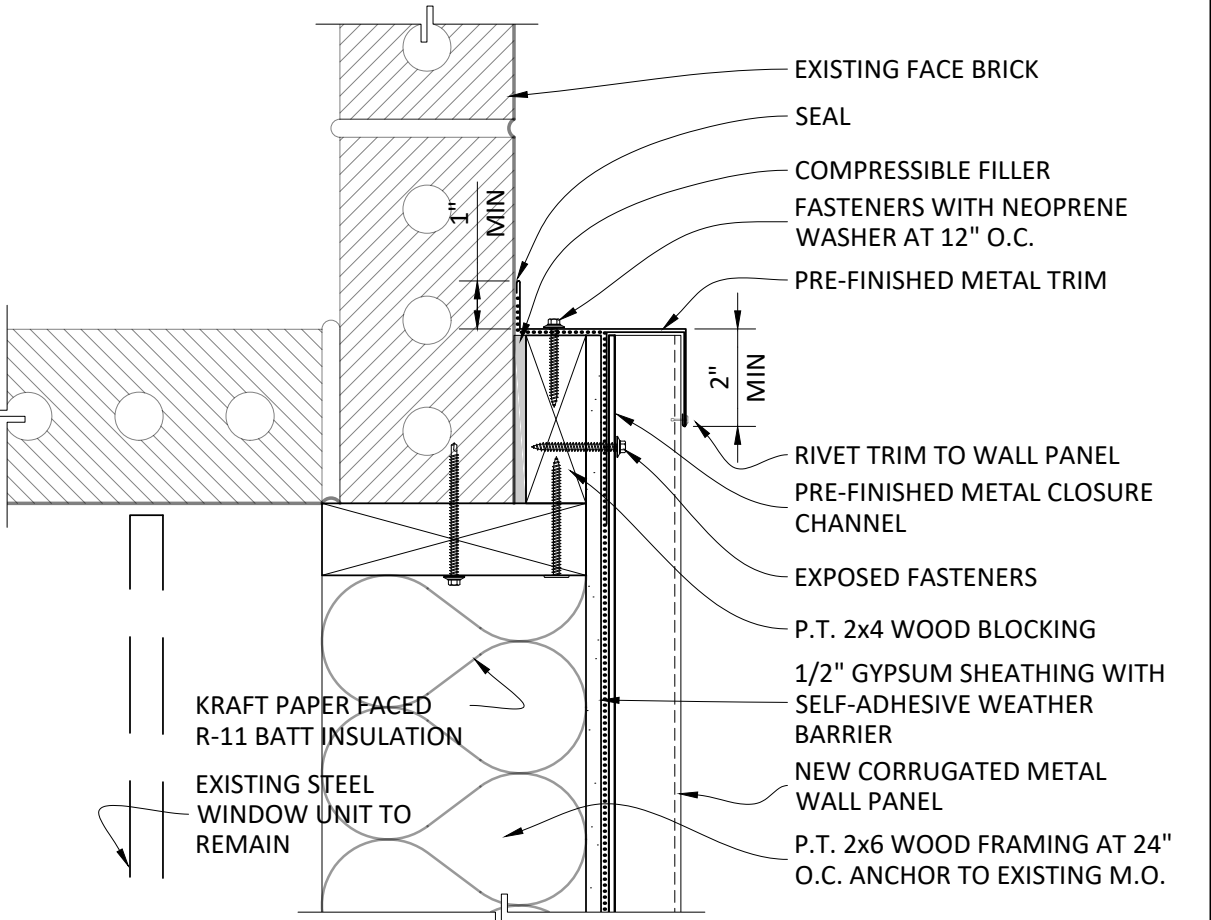
8 PIPE SUPPORT DETAIL
A200 NOT TO SCALE



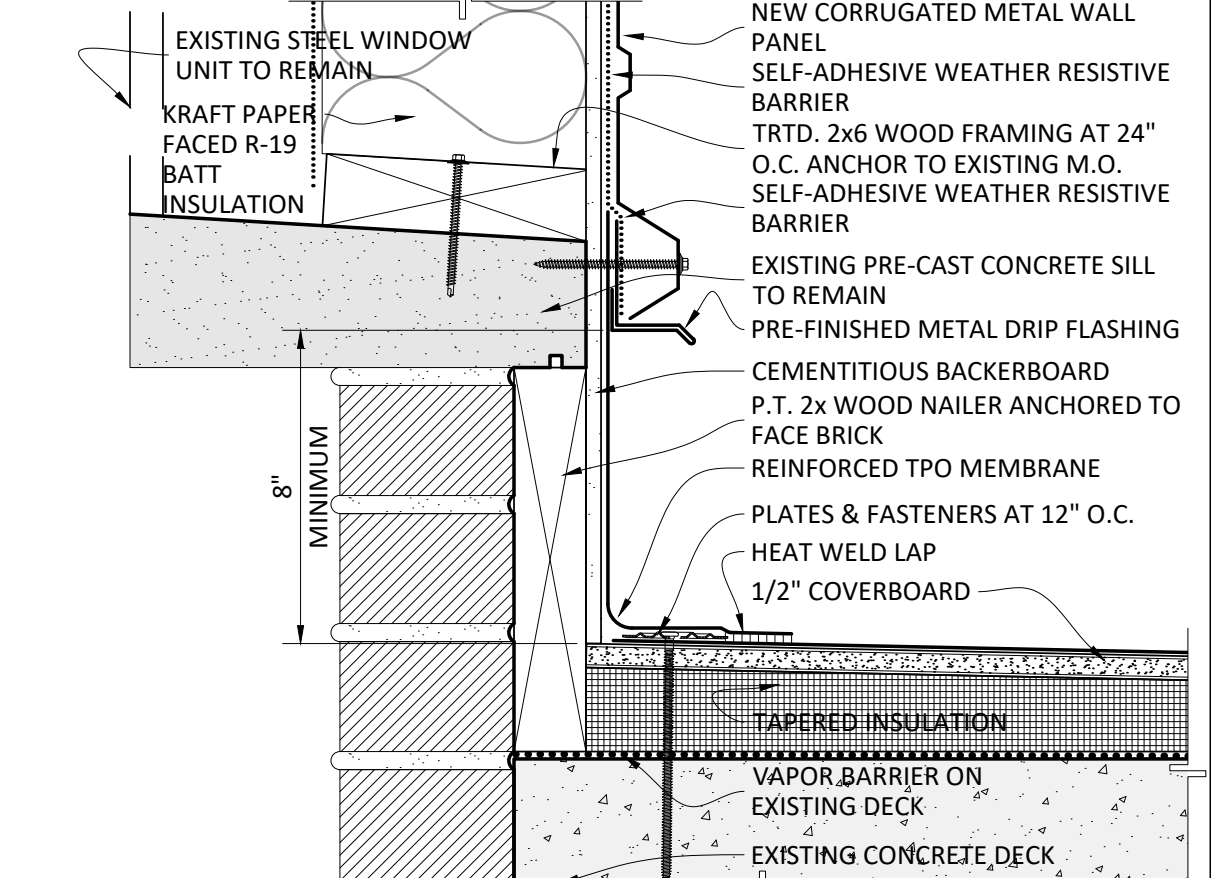
9 TYPICAL REGLET DETAIL
A101 | A200 NOT TO SCALE



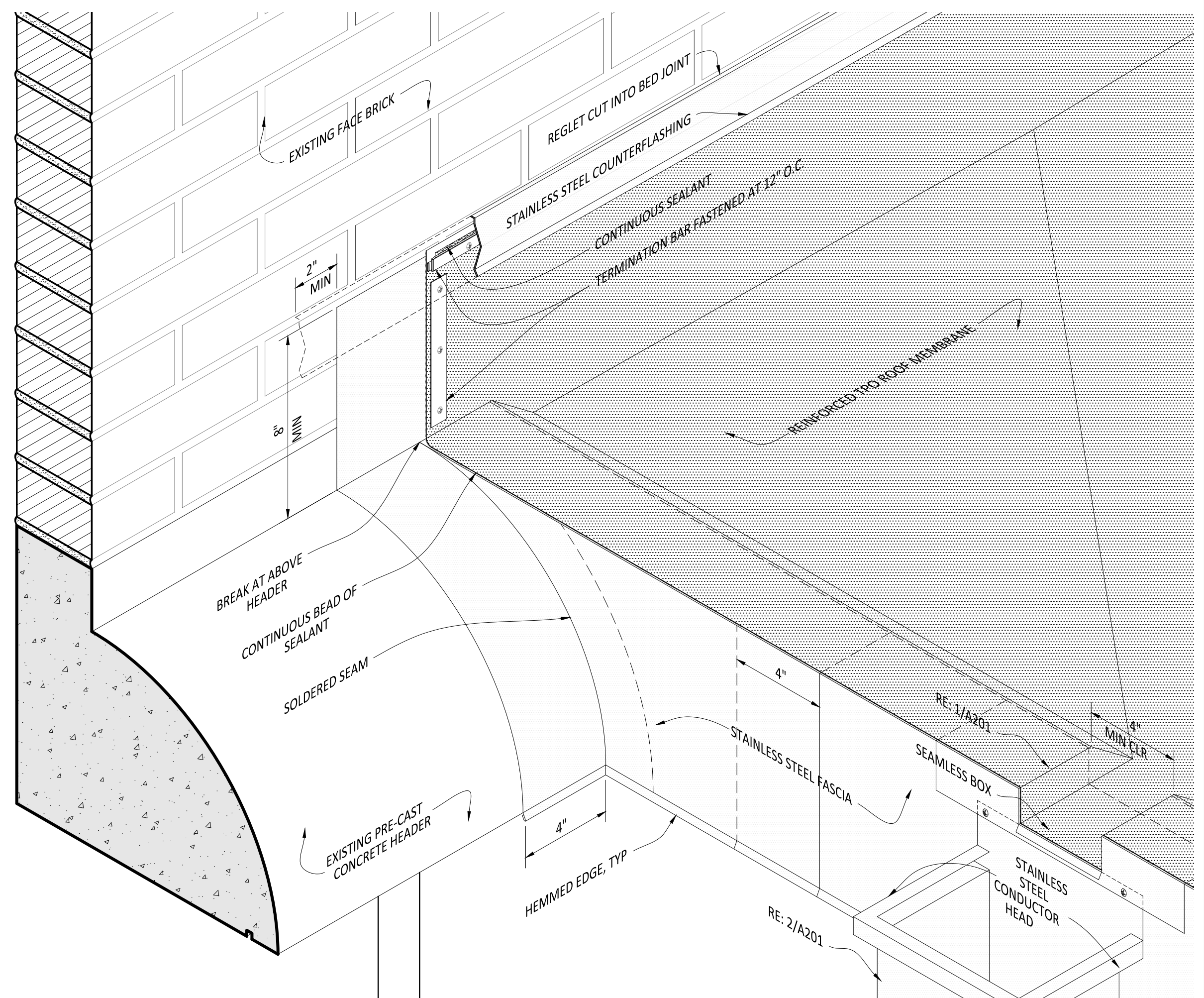
10 FLASHING ISOMETRIC DETAIL
A100 | A200 NOT TO SCALE



11 DETAIL - JAMB
A201 | A200 SCALE: 3\"/>



12 DETAIL - SILL
A201 | A200 SCALE: 3\"/>



13 FLASHING ISOMETRIC DETAIL
A101 | A200 NOT TO SCALE

NOTES:

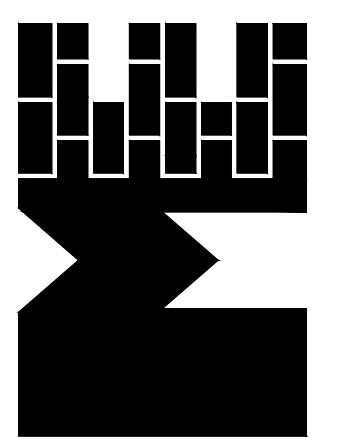
1. BEND COATED METAL TO FORM A SEALANT BOX AS SHOWN. STRIP-IN VERTICAL SEAM WHERE BOX IS JOINED TOGETHER.
2. ALLOW MINIMUM 4\"/>

project no. 24-1130-0015
drawn KJK
checked AFR
date 09.17.24
revised



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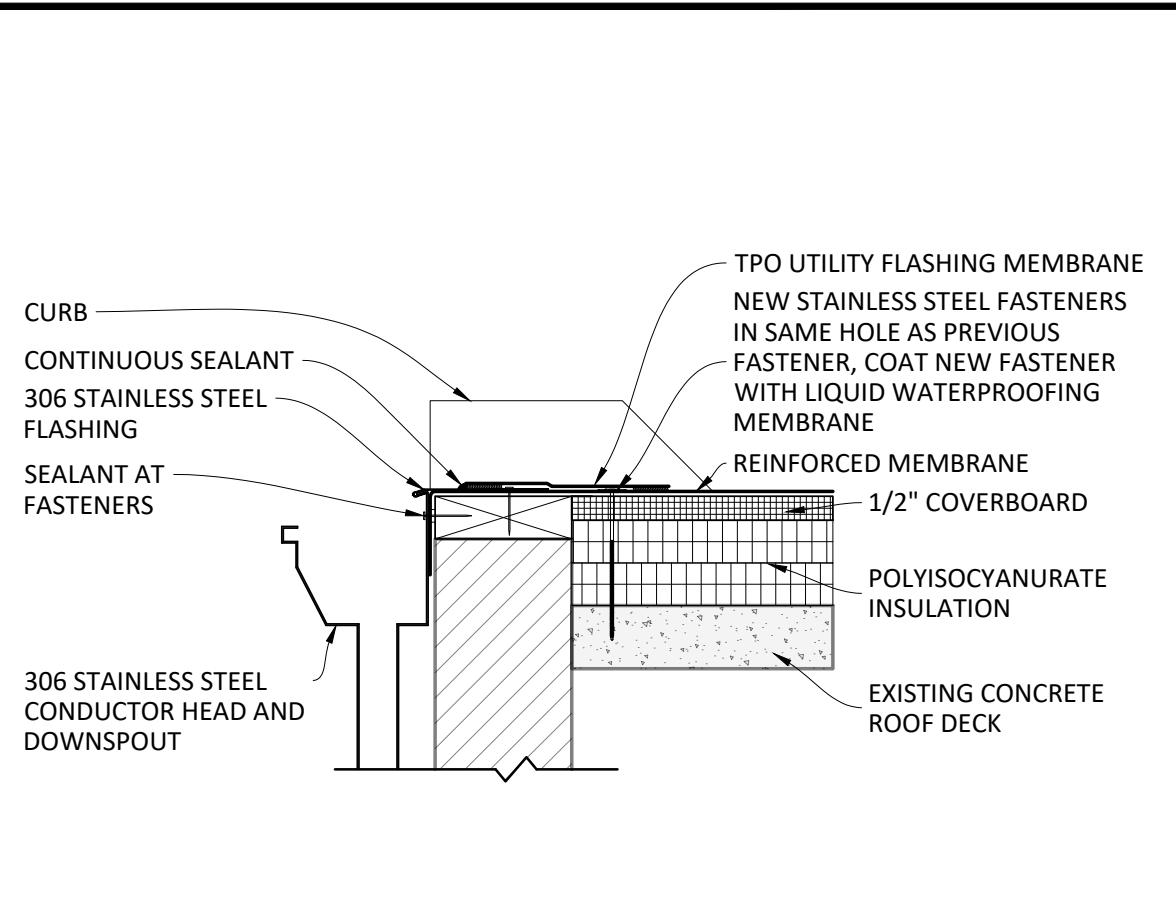
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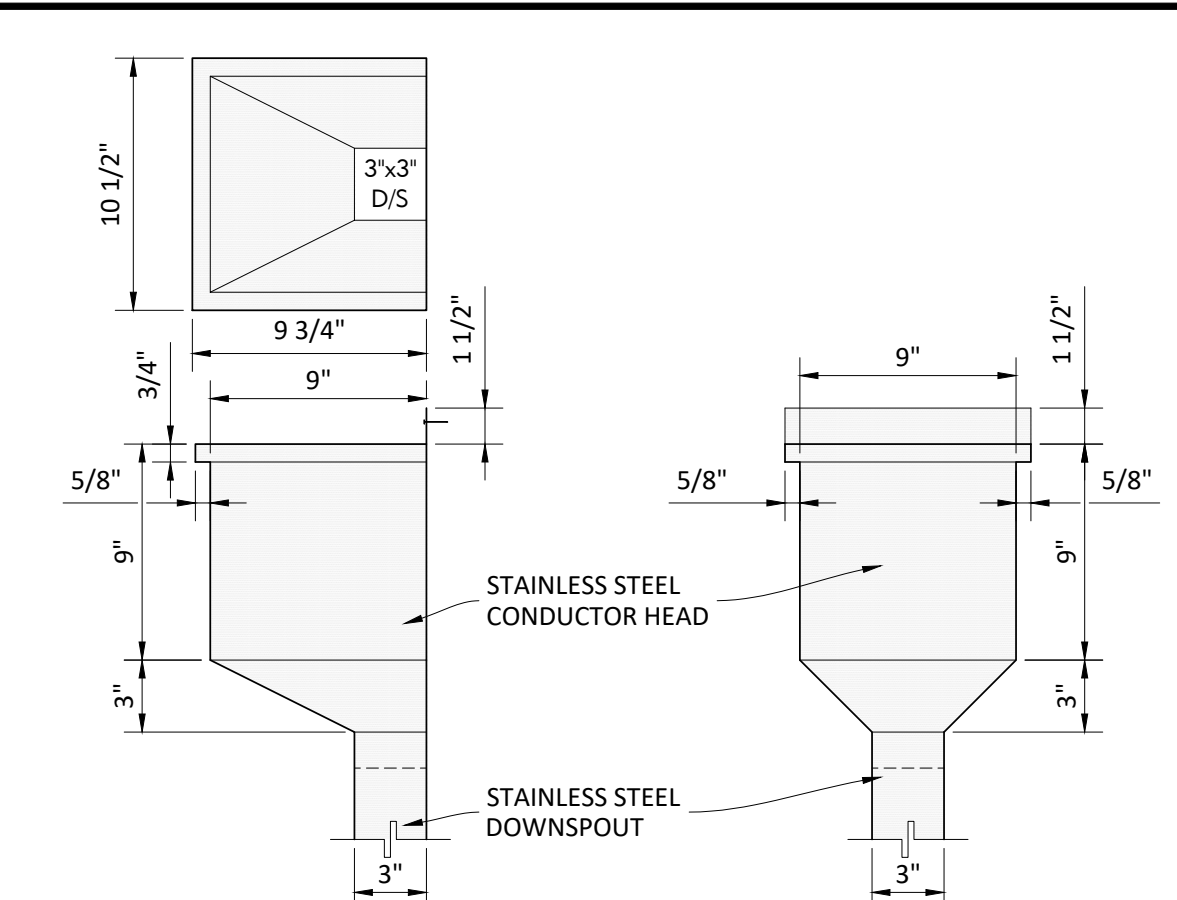
ROOF DETAILS
LAKE VISTA CC ROOF REPLACEMENT
6500 SPANISH FORT BLVD, NEW ORLEANS, LA 70124
LAKEFRONT MANAGEMENT AUTHORITY

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of 8 sheets

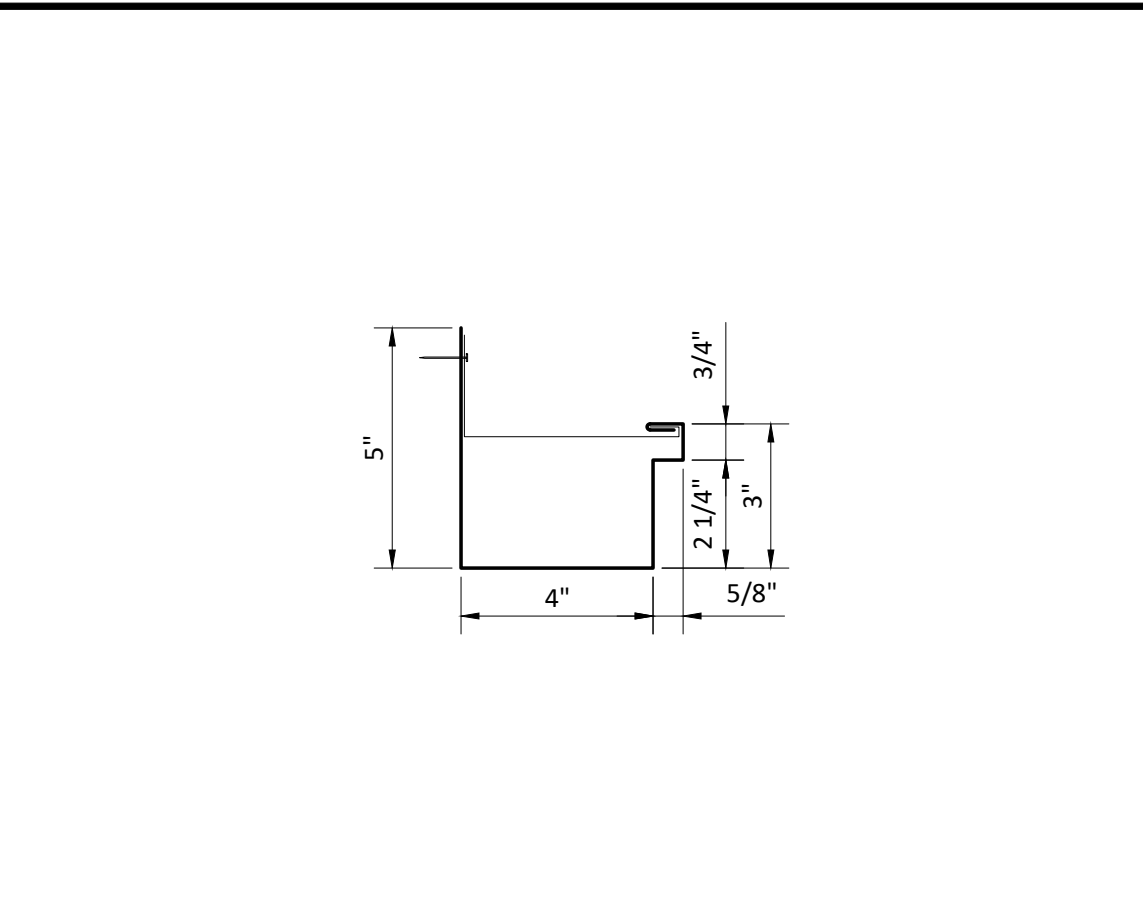
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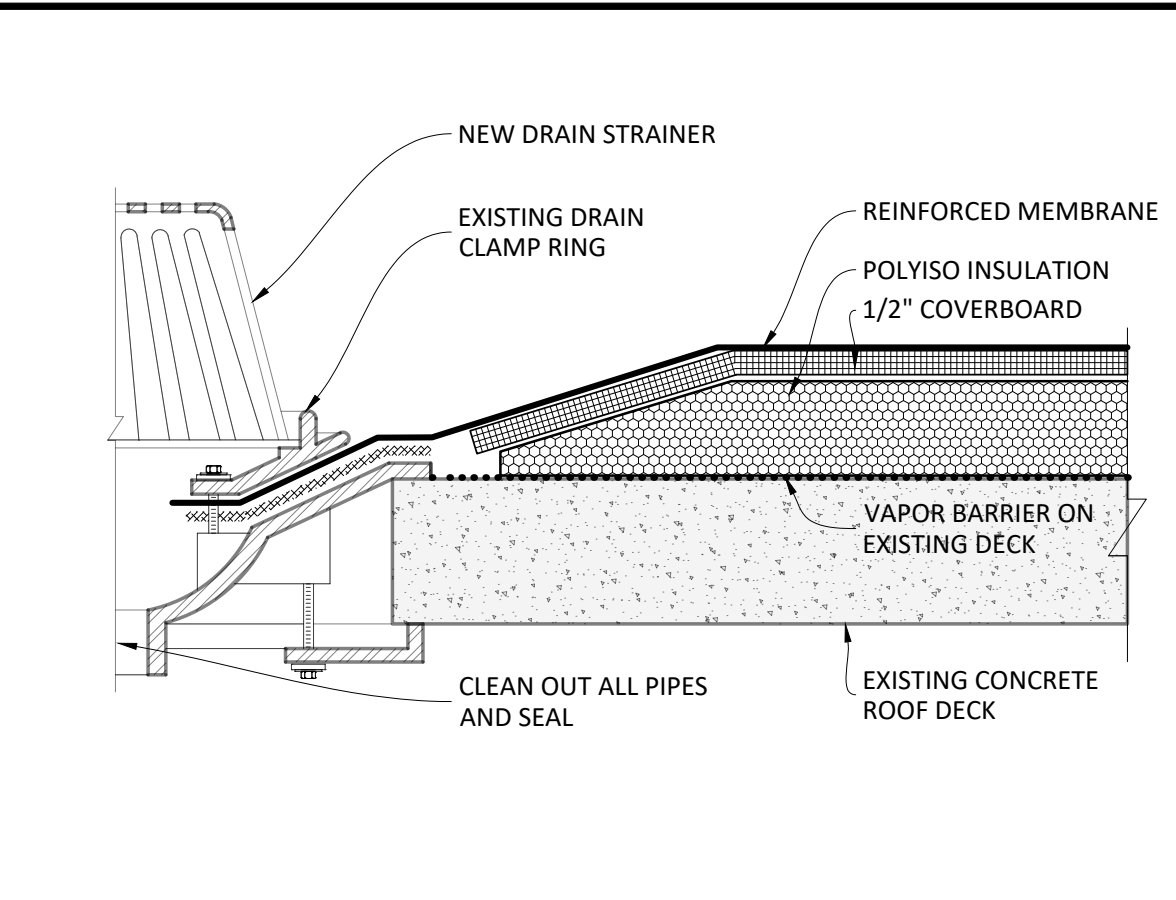
1 CONDUCTOR HEAD DETAIL
A101 | A201 NOT TO SCALE



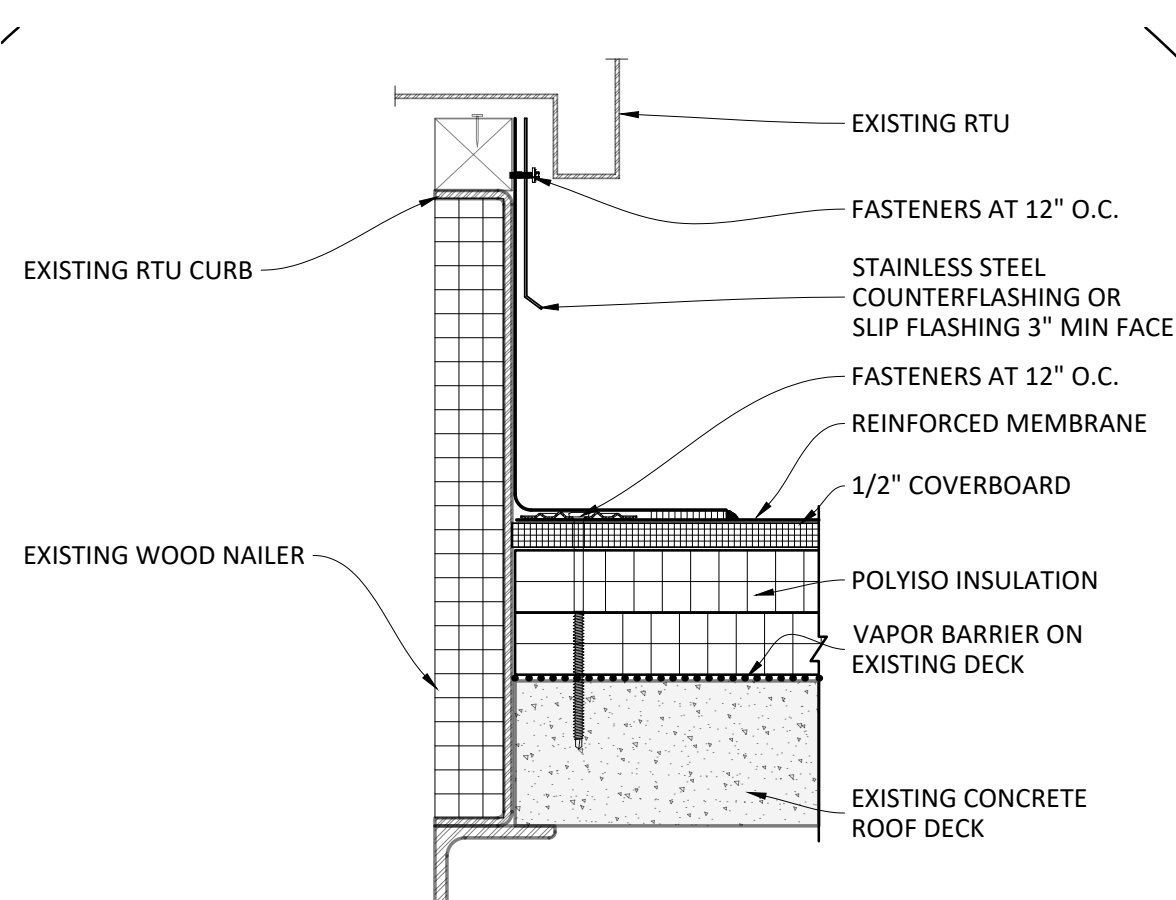
2 CONDUCTOR HEAD DETAIL
A101 | A201 SCALE: 1 1/2" = 1'-0"



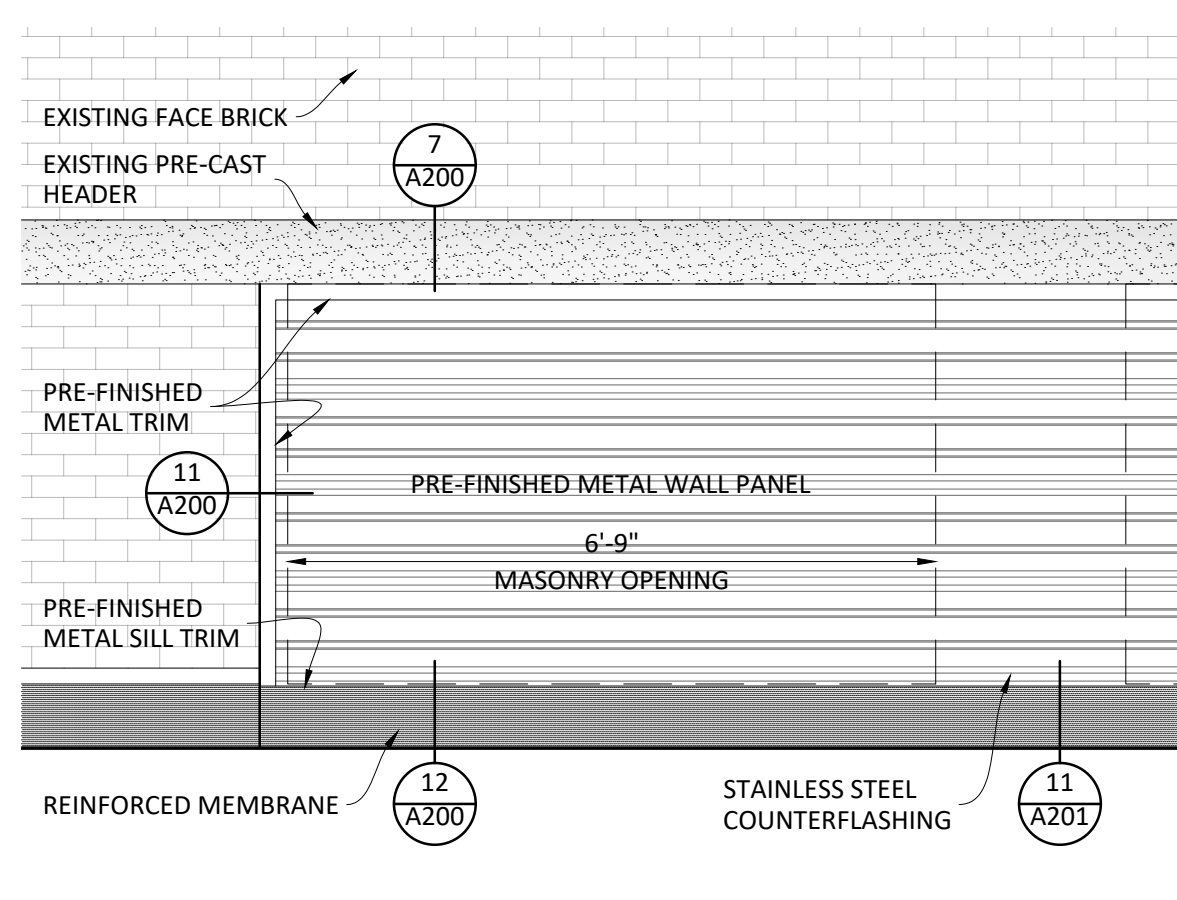
3 GUTTER PROFILE
A101 | A201 SCALE: 3" = 1'-0"



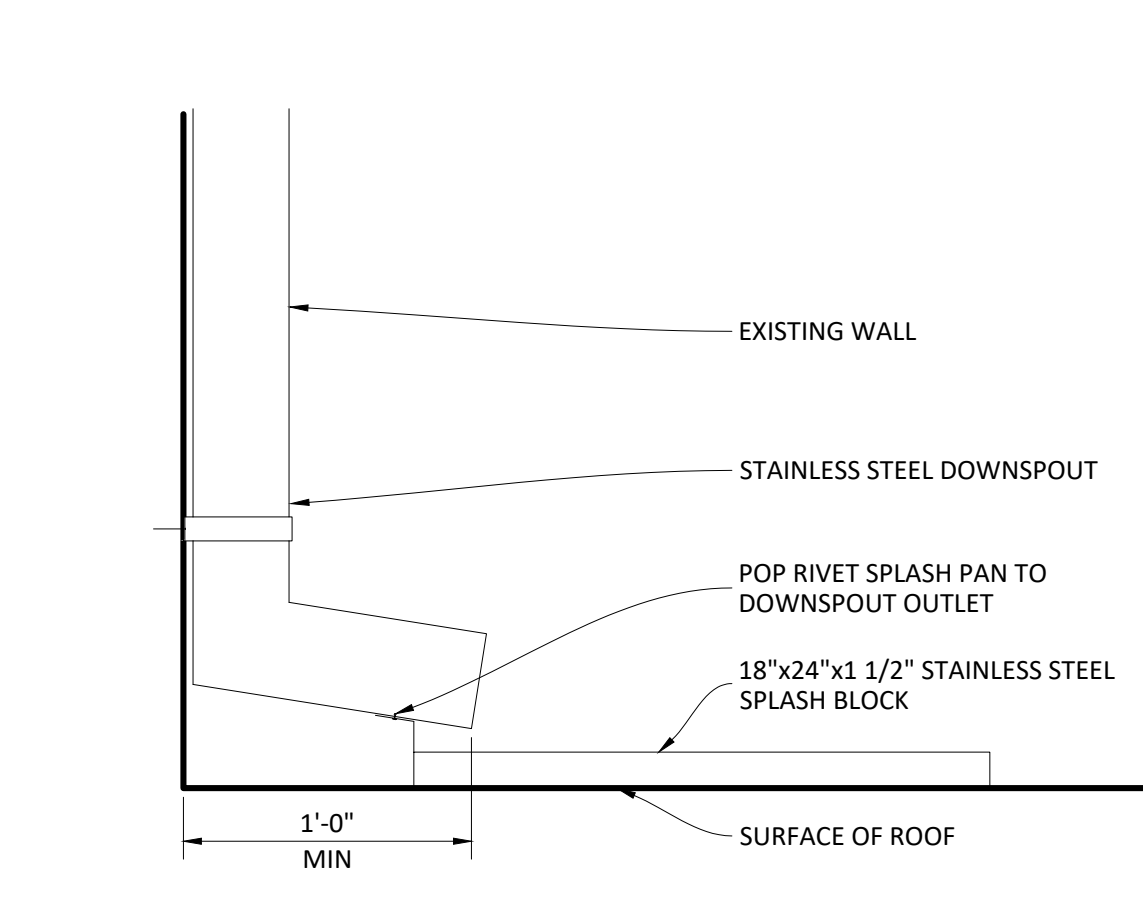
4 ROOF DRAIN DETAIL
A100 | A201 NOT TO SCALE



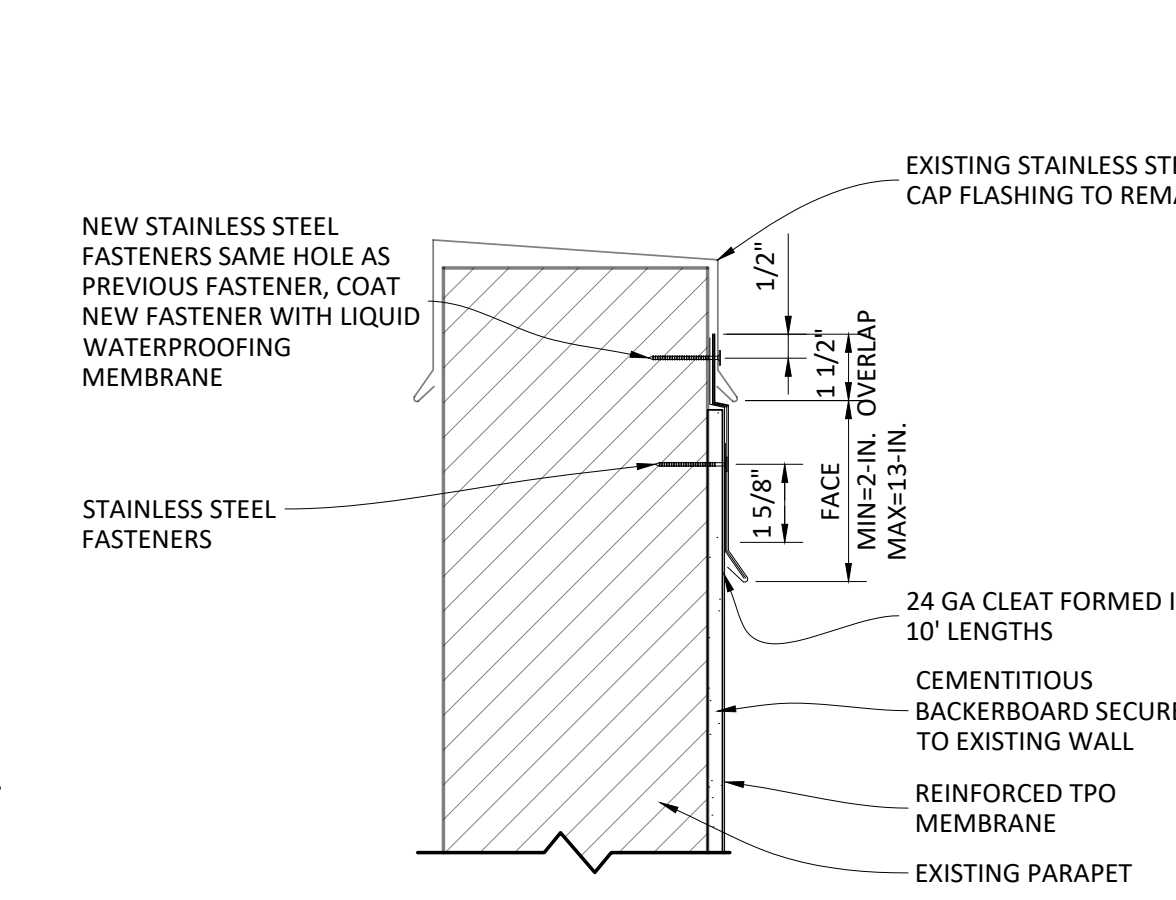
5 RTU CURB DETAIL
A100 | A201 NOT TO SCALE



6 WINDOW ELEVATION
A101 | A201 SCALE: 1/2" = 1'-0"



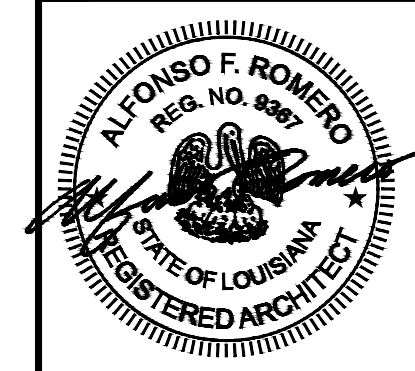
7 DOWNSPOUT DETAIL
A201 NOT TO SCALE



8 FASCIA EXTENSION DETAIL
A100 | A201 NOT TO SCALE

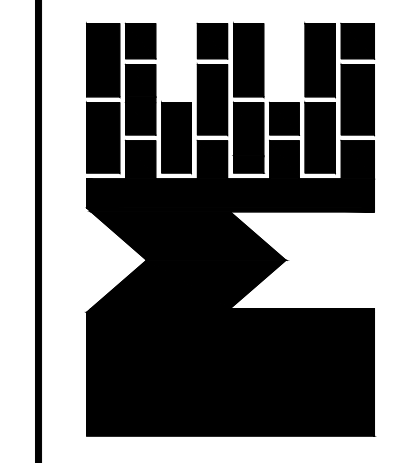
GENERAL ROOF NOTES

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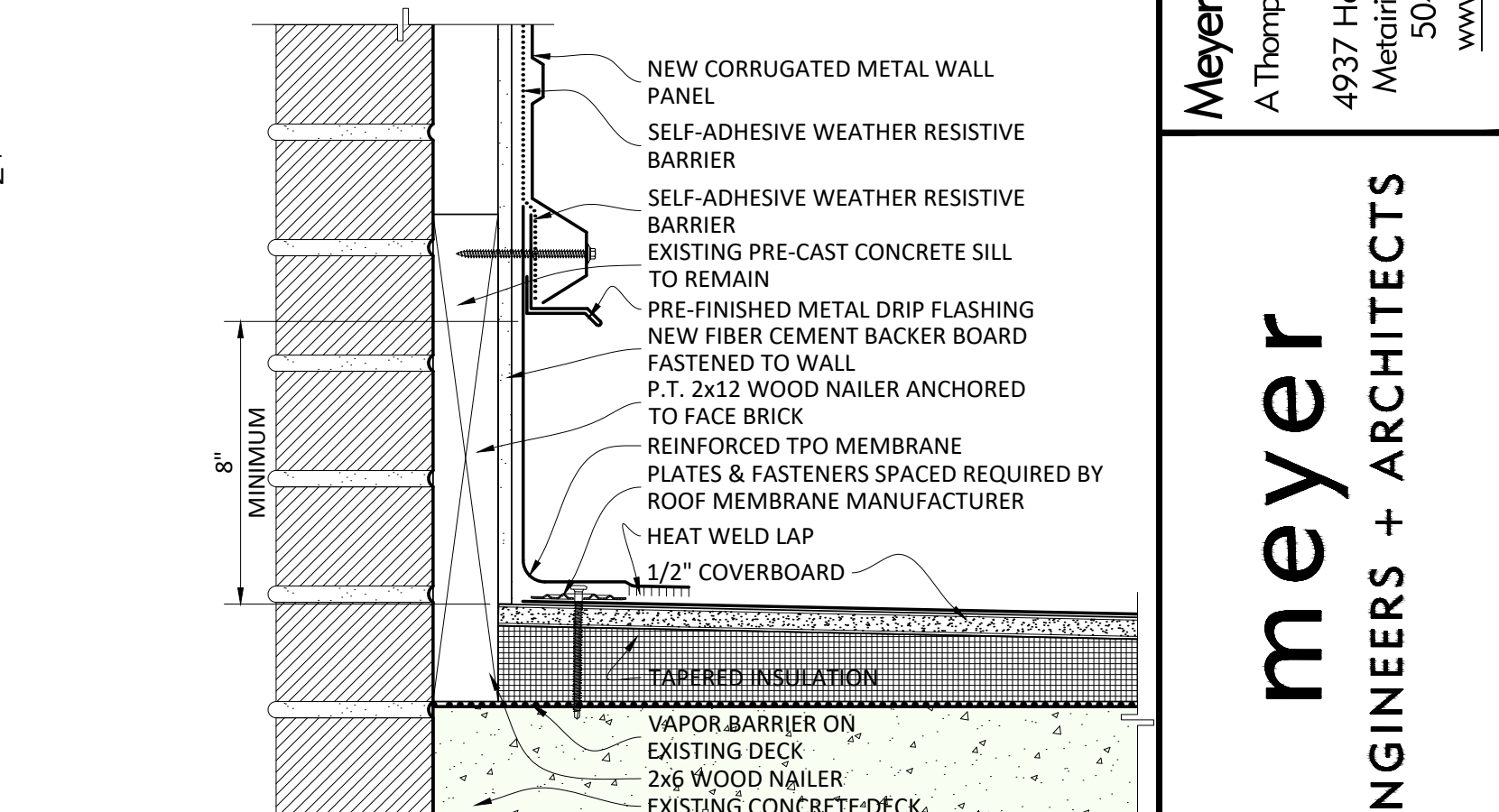


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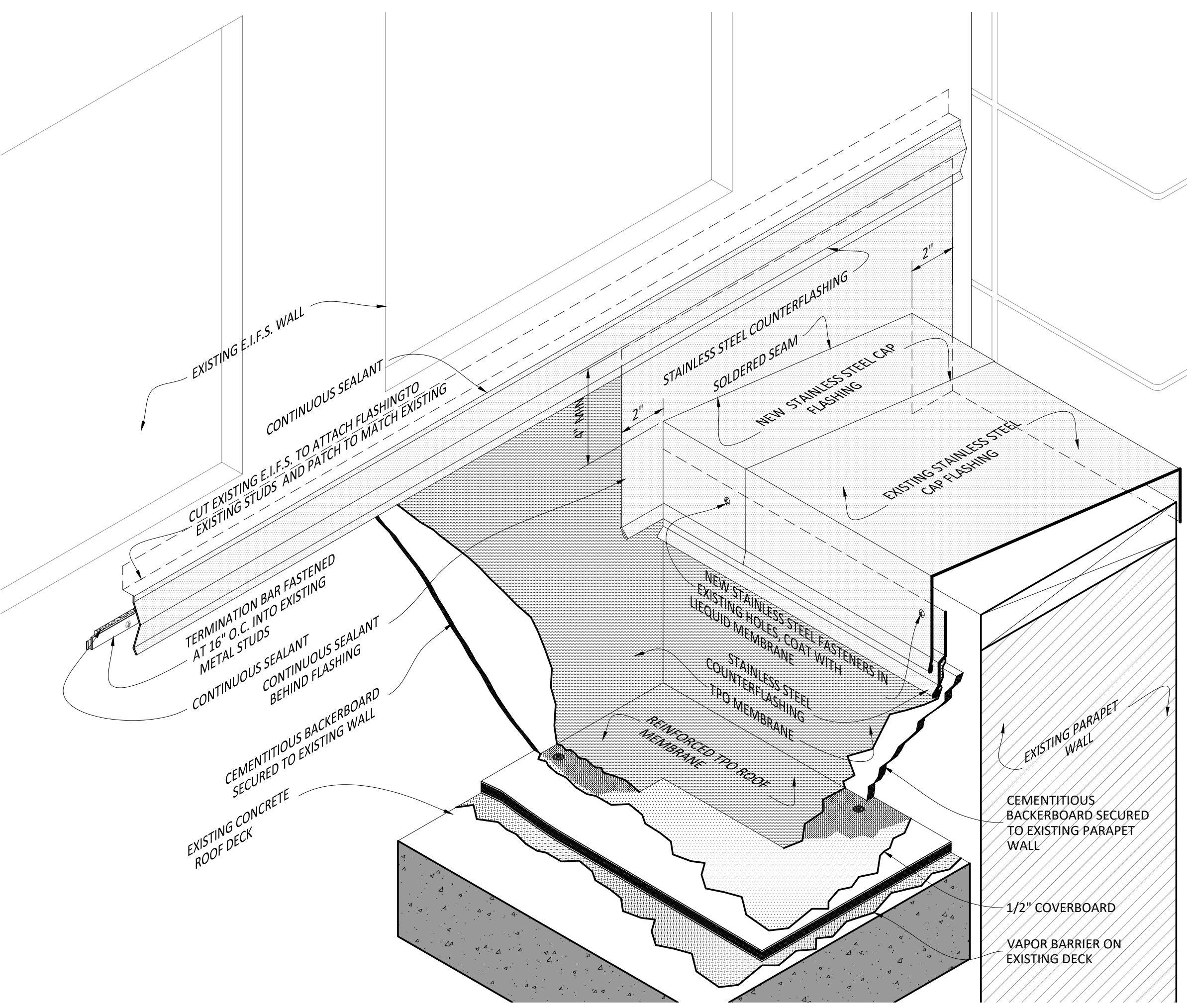
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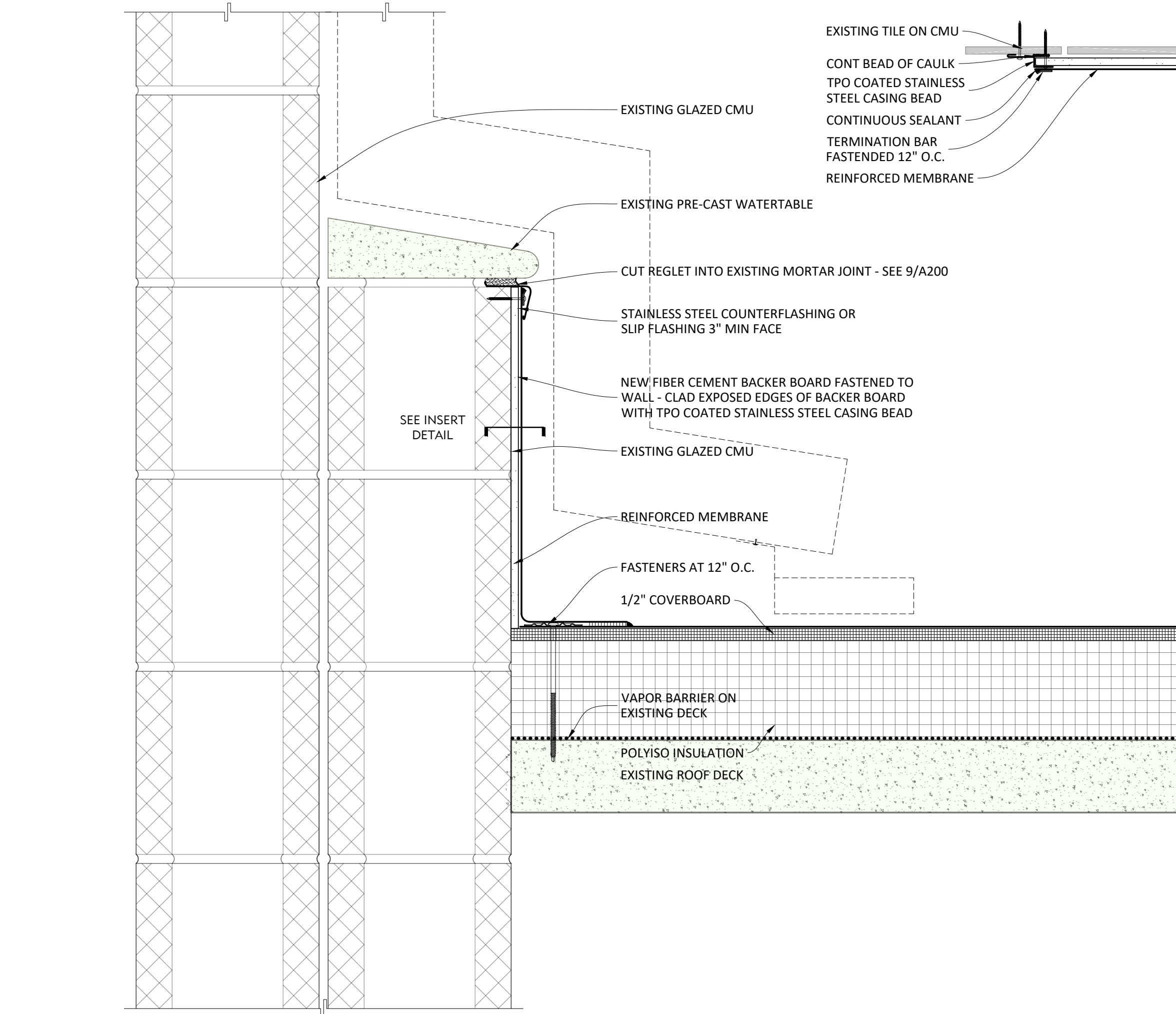
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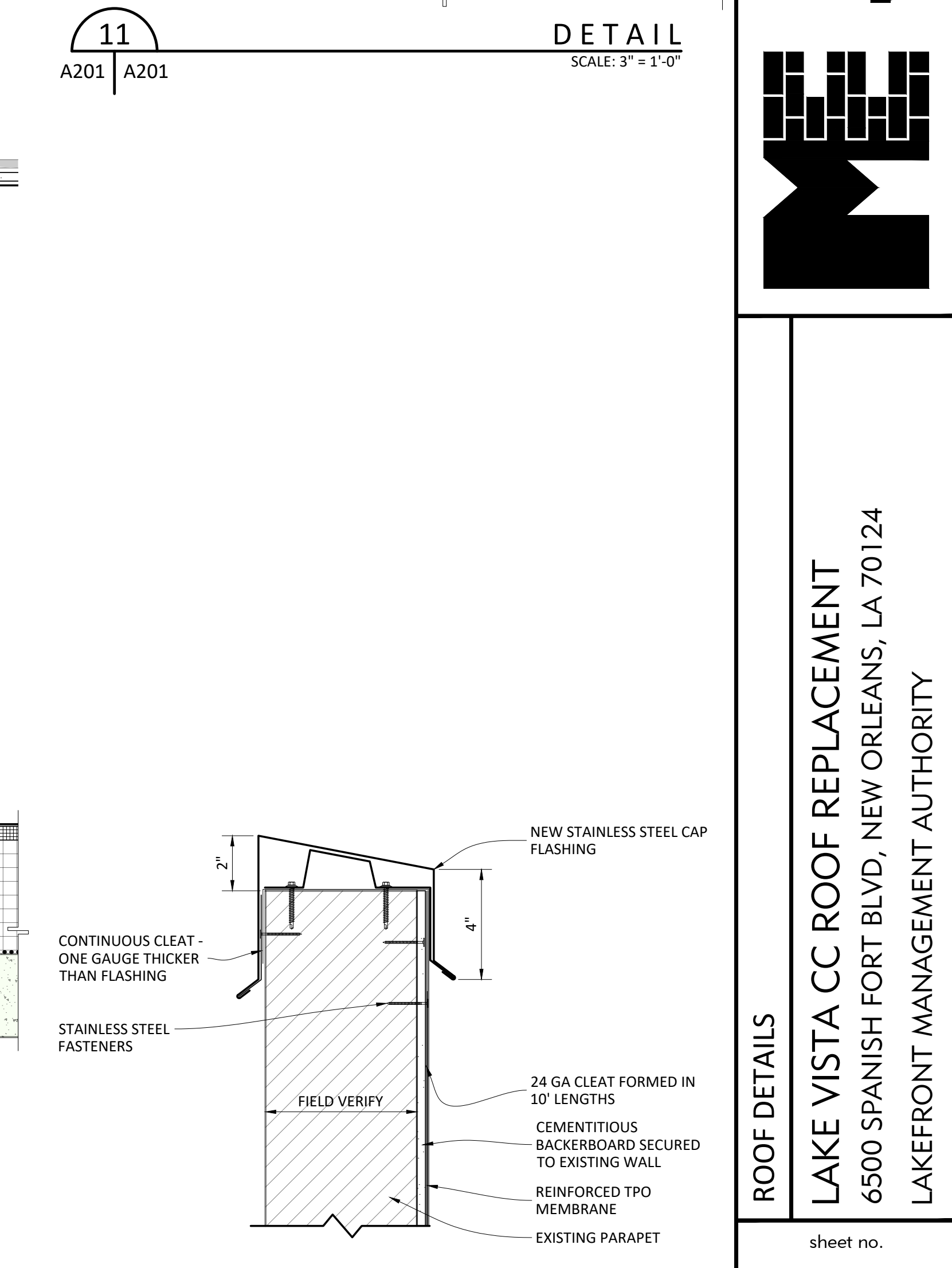
11 DETAIL
A201 | A201 SCALE: 3" = 1'-0"



9 FLASHING ISOMETRIC DETAIL
A101 | A201 NOT TO SCALE



10 ROOF DETAIL AT ELEVATOR
A101 | A201 SCALE: 3" = 1'-0"



11 COPING DETAIL
A100 | A201 NOT TO SCALE

sheet no.
A201
of 8 sheets